



Office Use Only

VicSmart? ☐ YES ☐ NO

Specify class of VicSmart application:

Application No.: Date Lodged: / /

Application for a **Planning Permit**

If you need help to complete this form, read MORE INFORMATION at the back of this form.

- Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.
- Questions marked with an asterisk (*) must be completed.
- If the space provided on the form is insufficient, attach a separate sheet.
- Click for further information.

Clear Form

Application Type

Is this a VicSmart application?*

☒ No ☐ Yes

If yes, please specify which VicSmart class or classes:.....

Classes of VicSmart application are listed in zones, overlays , particular provisions and the schedule to Clause 59.15

Pre-application Meeting

Has there been a pre-application meeting with a Council planning officer?

☐ No ☒ Yes

If 'Yes', with whom?: Heritage Adviser

Date: Dec 2025 day / month / year

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.: St. No.: 18 St. Name: James Street

Suburb/Locality: Port Fairy Postcode: 3284

Formal Land Description *

Complete either A or B.

- This information can be found on the certificate of title.
- If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A Lot No.: 1 ☐ Lodged Plan ☒ Title Plan ☐ Plan of Subdivision No.: 952461N

OR

B Crown Allotment No.: Section No.:

Parish/Township Name:

The Proposal



You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.



For what use, development or other matter do you require a permit? *

Partial demolition, extension and external alteration of dwelling, and construction of outbuilding. Refer to planning report.



Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.



Estimated cost of any development for which the permit is required *

Cost \$ 320,000



You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Single dwelling



Provide a plan of the existing conditions. Photos are also helpful.

Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☒ No
- ☐ Not applicable (no such encumbrance applies).



Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:					
Organisation (if applicable): Lifestyle Town Planning					
Postal Address:		If it is a P.O. Box, enter the details here:			
Unit No.:					

Contact information for applicant OR contact person below					
Business phone:					
		Fax:			

Contact person's details*					Same as applicant
Name:					
Title:	First Name:		Surname:		
Organisation (if applicable):					
Postal Address:		If it is a P.O. Box, enter the details here:			
Unit No.:	St. No.:	St. Name:			
Suburb/Locality:		State:	Postcode:		

Name:					Same as applicant
Title:					
First Name:		Surname:			
Postal Address:		If it is a P.O. Box, enter the details here:			
Unit No.:					
Owner's Signature (Optional):				Date:	
				day / month / year	

Information requirements

Is the required information provided?

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist.

☐ Yes ☐ No

Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

day / month / year

Imaged Document Cover Sheet

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TITLE PLAN				EDITION 1		TP952461N	
LOCATION OF LAND PARISH: BELFAST TOWNSHIP: PORT FAIRY SECTION: CROWN ALLOTMENT: ATKINSON'S CROWN SPECIAL SURVEY (PT) CROWN PORTION: LAST PLAN REFERENCE: DERIVED FROM: DEPTH LIMITATION: NIL				NOTATIONS WARNING AS TO DIMENSIONS: ANY DIMENSION AND CONNECTING DISTANCE SHOWN IS BASED ON THE DESCRIPTION OF THE LAND CONTAINED IN THE GENERAL LAW TITLE AND IS NOT BASED ON SURVEY INFORMATION WHICH HAS BEEN INVESTIGATED BY THE REGISTRAR OF TITLES.			
EASEMENT INFORMATION E - ENCUMBERING EASEMENT. R - ENCUMBERING EASEMENT (ROAD). A - APPURTENANT EASEMENT.						THIS PLAN HAS BEEN PREPARED BY LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES Checked by: AJC Date: 01/07/2013 Assistant Registrar of Titles	
Easement Reference	Purpose / Authority	Width (Metres)	Origin	Land benefited / In favour of			
COX STREET 40.23 90°00' 48.88 LOT 1 48.88 270°00' 20.72 0°00' 20.72 180°00' JAMES STREET							
LENGTHS ARE IN METRES		SCALE		DEALING / FILE No: AP98526G		DEALING CODE: 14	
				GOVERNMENT GAZETTE No:		SHEET 1 OF 1	

Lifestyle



Town Planning & Services

Planning Report – Mayrene 18
James Street Port Fairy, Vic.
3284.

Partial demolition, extension
and external alteration of
dwelling, and construction of
outbuilding.

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DOCUMENT CONTROL

This document has been prepared to aid the submission of a planning permit application at 18 James Street, Port Fairy, Vic. 3284.

1. PROPOSAL

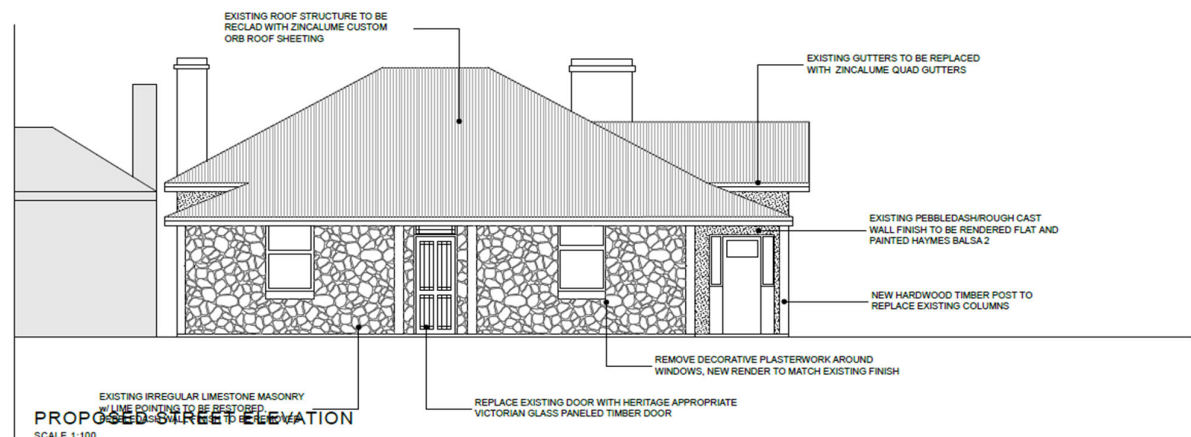
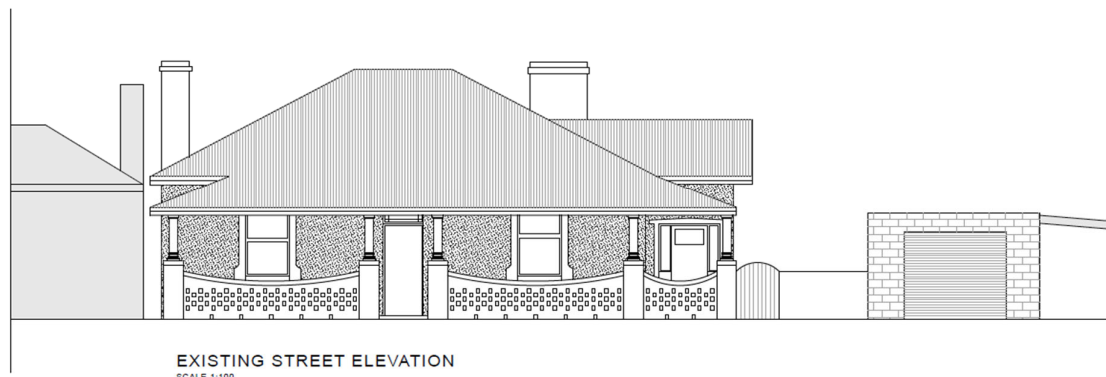
It is proposed to remove non-contributory later added elements from the façade of the existing late Georgian stone dwelling, to remove the existing garage, to construct a detached extension and a replacement garage to the rear.

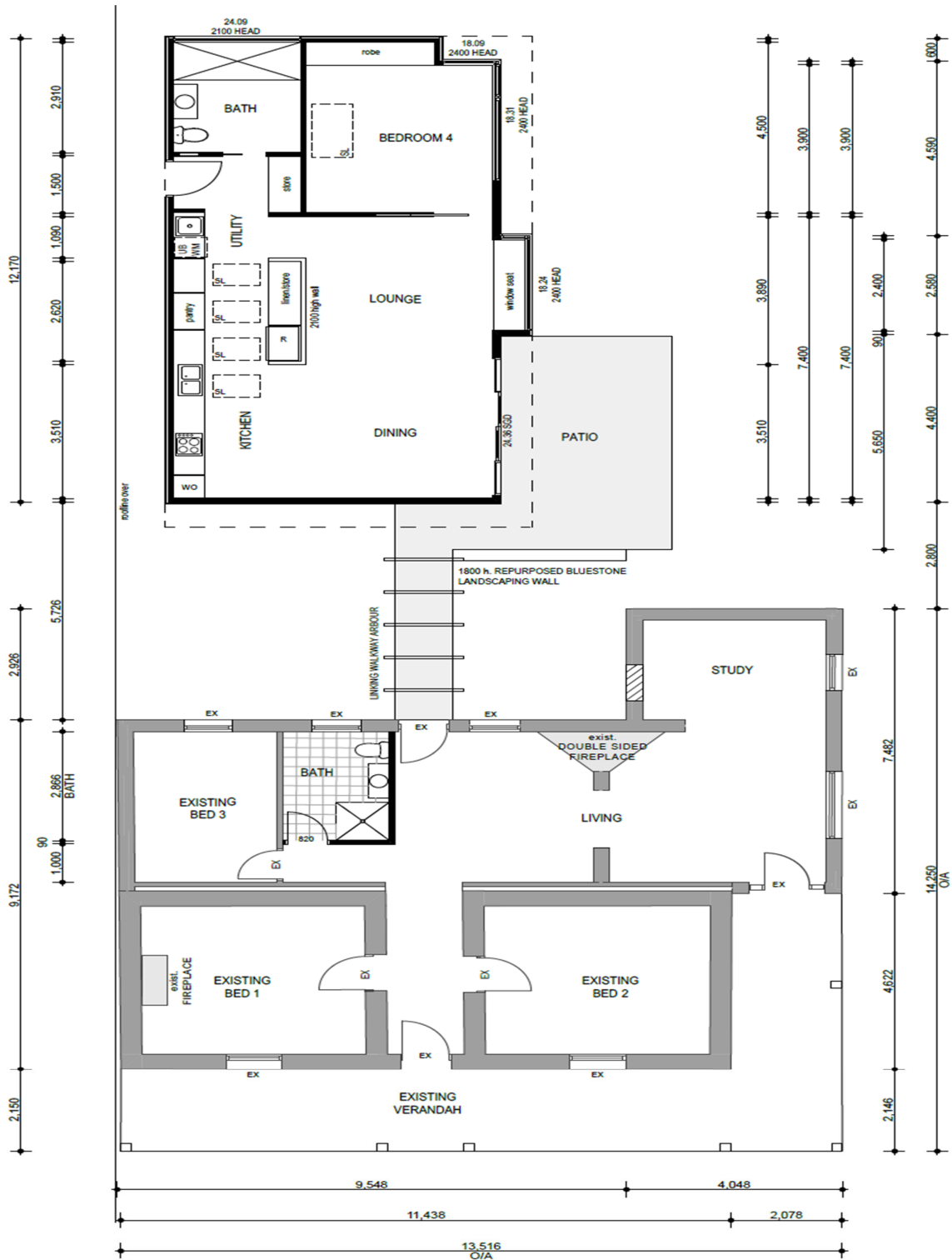
The new extension will not be a “dwelling” and will be used in conjunction with the existing dwelling which will be left without food preparation facilities, with the extension linked to the existing house via a partially covered walkway and courtyard.

The extension will add an additional 76.24 sqm to the existing 145.30 sqm house, and be constructed of spotted gum hardwood cladding with aluminium windows under a slightly pitched roof Colorbond roof covering in “Woodland Grey”. The extension will have a maximum height of 4.1m.

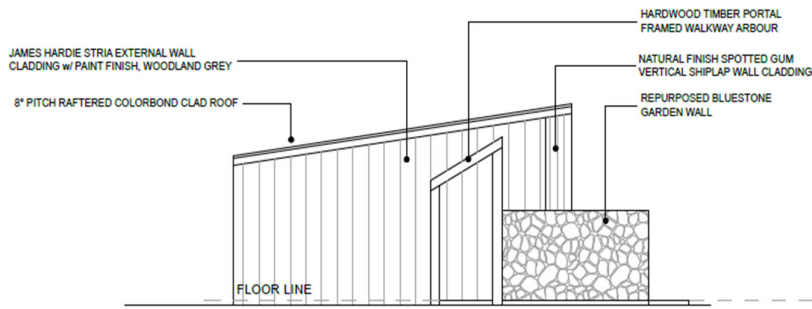
The exterior of the existing dwelling will have the render removed to expose the original stonework which will be repointed, with the roof covering replaced in Zincalume sheeting with matching gutters and simple timber veranda posts.

The new shed will be accessed from Union Street to the rear, will have dimensions of 10m x 7m at a height of 3.79m and will be finished also in “Woodland Grey” Colorbond.

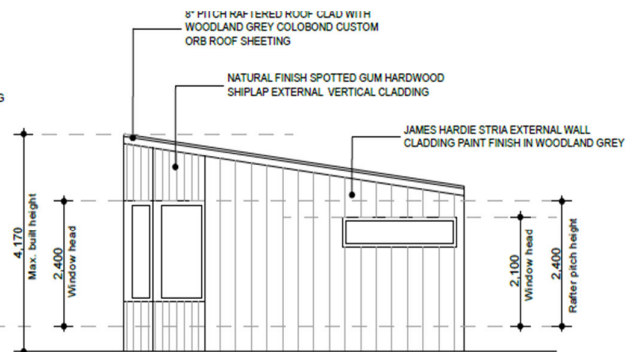




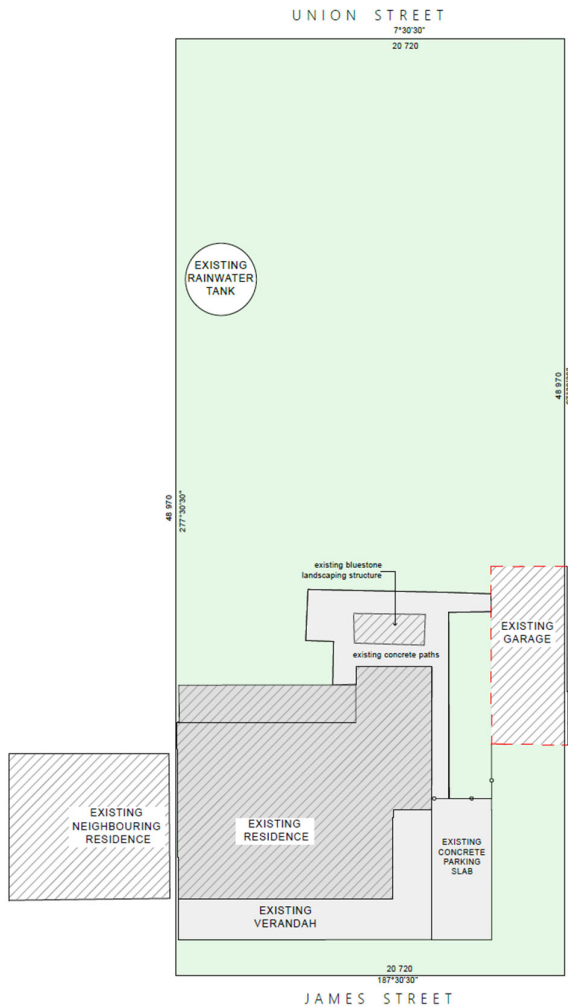
PROPOSED FLOOR PLAN
SCALE 1:100



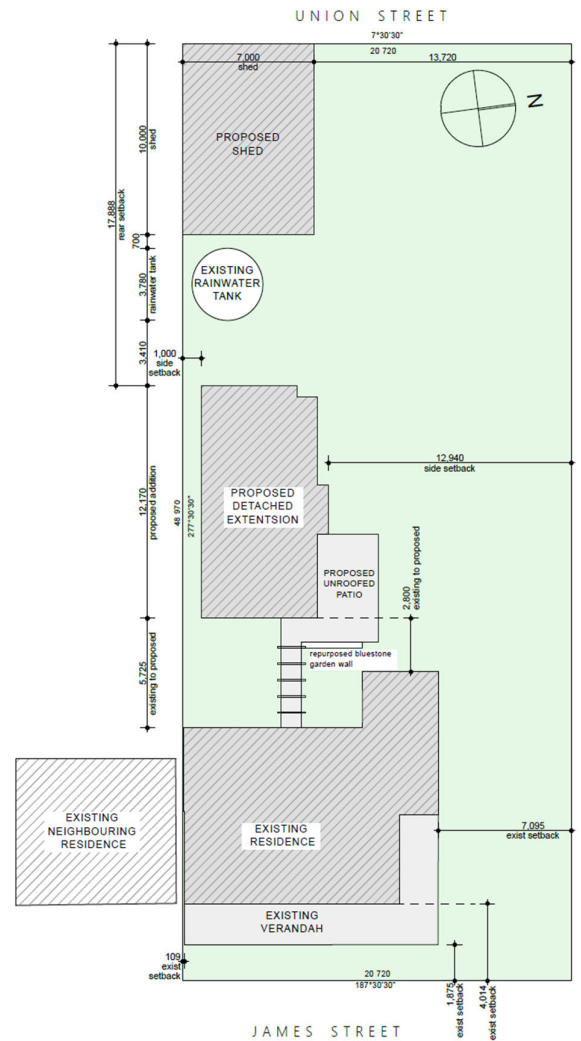
PROPOSED ADDITION EASTERN ELEVATION
SCALE 1:100



PROPOSED ADDITION WESTERN ELEVATION
SCALE 1:100



EXISTING SITE PLAN
1:200



PROPOSED SITE PLAN
1:200

2. SITE ANALYSIS

The subject site is situated close to the town centre one block from the main shopping streets of Bank and Sackville Streets. The site has an area of approximately 1012 sqm, is generally flat containing an existing late Georgian stone dwelling of masonry construction under a corrugated iron roof covering and finished with pebbledash render. There are later additions to the dwelling to the rear.

There is a driveway to the side and an informal vehicle crossover leading to a dilapidated detached blockwork garage under a flat roof. There is a concrete footpath along both sides of James Street with no kerb and channel drainage. There is a generous rear garden with lawn, vegetable gardens and selection of trees and shrubs. The rear garden has vehicular access from Union Street.

The property has a low masonry front fence with close boarded and corrugated iron fencing to the side and rear boundaries.

The prevailing character is of detached single storied dwellings on abutting allotments and along James Street on generous allotments behind wide grassed nature strips. There are no easements shown on title.

Aerial photo



Subject dwelling frontage to James Street



Rear garden looking east



Rear access from Union Street



Abutting rear garages



Streetscape looking south



Streetscape looking north



3. RESTRICTIONS ON TITLE

None

4. PLANNING CONTROLS

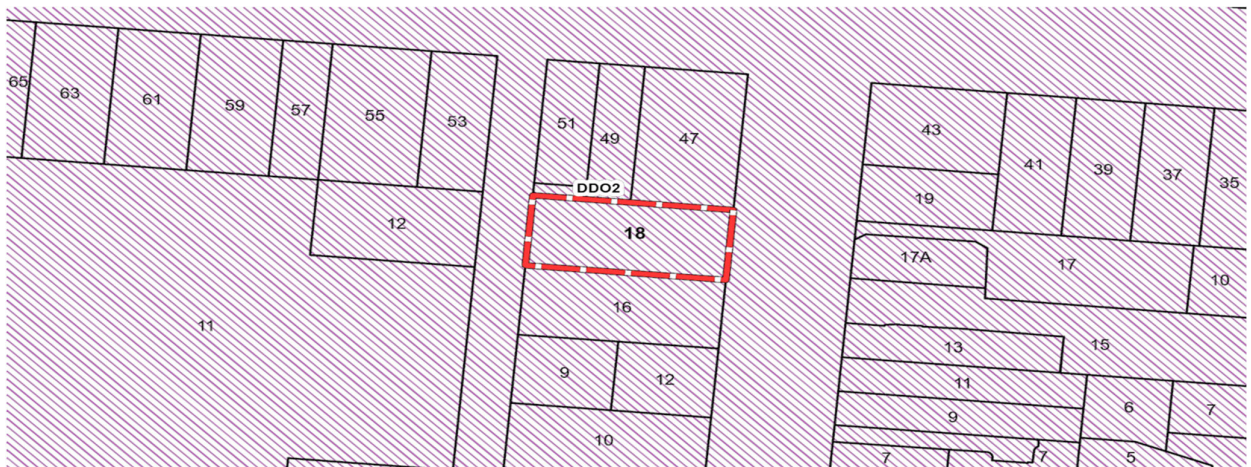
Zone

The site is located in the Neighbourhood Residential Zone Schedule 1 (NRZ1).

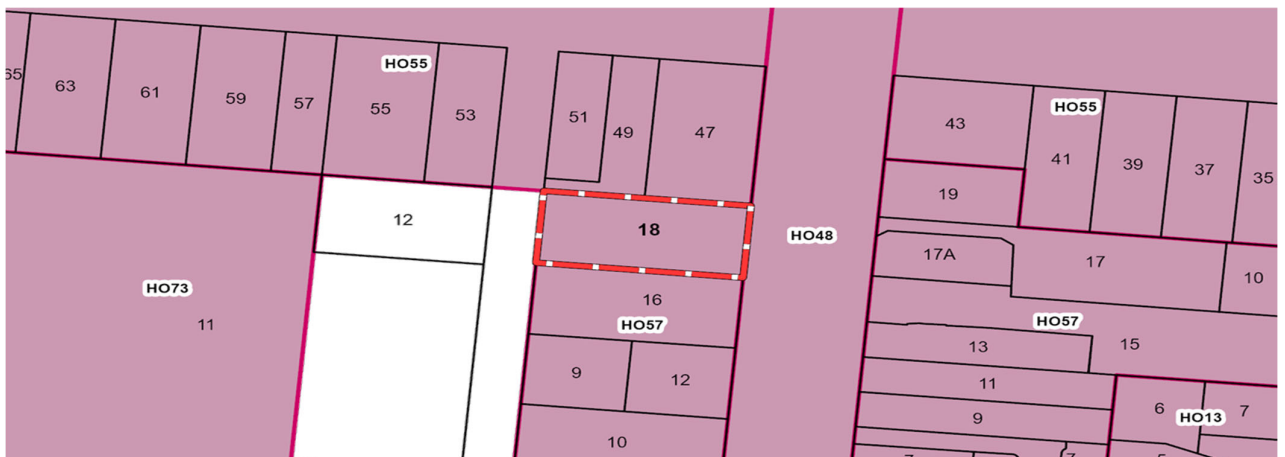


Overlays

Design Development Overlay Schedule 2 (DDO2)



Heritage Overlay Schedule 57 (HO57)



Other

The site is designated as being within a site of Aboriginal Heritage Significance.

Permit requirements

- A permit is not required for proposed works in the NRZ1 as the site exceeds 300 sqm.
- A permit is required for buildings and works under the HO57 pursuant to **Clause 43.01-1**. The dwelling Mayrene is situated in the James Street heritage Precinct and is “significant” to the precinct as listed in the statement of significance of the precinct.
- A permit is required for buildings and works under the DDO2 pursuant to **Clause 43.02-2**.

A cultural heritage management plan is not required as a single dwelling (works associated with) is an exempt activity under the Aboriginal Heritage Regulations 2018.

5. PLANNING ASSESSMENT

Clause 43.01

HERITAGE OVERLAY

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To conserve and enhance heritage places of natural or cultural significance.

To conserve and enhance those elements which contribute to the significance of heritage places.

To ensure that development does not adversely affect the significance of heritage places.

To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.

In assessing an application the responsible authority must consider as appropriate:

Clause 43.01-8

Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.*

- *Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy.*
- *Any applicable heritage design guideline specified in the schedule to this overlay.*
- *Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place.*
- *Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place.*
- *Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place.*
- *Whether the proposed works will adversely affect the significance, character or appearance of the heritage place.*

Statement of Significance

What is significant?

The James Street Precinct, Port Fairy runs north-south from Regent Street to Campbell Street. It is in three parts, divided by Bank Street in the Commercial Precinct and by the Cox Street Precinct. The street was one of the first to be developed in James Atkinson's privately developed township of Belfast. Few businesses were located in the Precinct which has always been mostly residential but several important nineteenth century non-residential buildings survive.

The key heritage characteristics and elements of the James Street Precinct are:

- The single-storey, late Georgian stone cottages and houses dating from the 1850s, and 1860s at Nos. 4, 6-8, 12, 15, 18 and 21.
- The pair of early stone cottages renovated about 1885 at Nos. 9-11.
- The late nineteenth century timber cottages and houses at Nos. 28, 34 and 45 James Street.
- The Interwar bungalow, Watgania at No. 3 James Street.
- The Country Fire Authority Complex at No. 26 James Street.
- The former Gould residence at No. 30 James Street.
- The former Masonic Lodge, No. 37 James Street.
- The former Braim House, Dr Thomas Braim's school at No. 42 James Street.
- The former Wesleyan Methodist Parsonage at No. 46 James Street.
- The relative intactness of the precinct to its mid-twentieth century state, with few prominent infill buildings or intrusive additions.
- The extent to which the early history of land subdivisions and development is reflected in the street pattern and many remaining structures.
- The country town quality arising from the wide streets, the absence of curbs and channels, the low scale of the built form and the generous garden setbacks associated with many of the dwellings.

Significant places

3, 4, 6-8, 9-11, 12, 13, 15, 16, 18, 21, 26, 27, 28, 30, 37, 42, 43, 45, 46 James Street
Bluestone boundary wall - 35 James Street

Contributory places

1, 5, 7, 17A, 19, 22, 23, 24, 31, 31a, 34, 35 & 49 James Street

Non-contributory places

Road Reserve, Bowls Court

ASSESSMENT

The proposed works to the dwelling are restorative which improve the integrity and interpretation of the Georgian building. The demolition component is of non-contributory elements.

The rear extension to extend the dwelling is single storied at the rear well setback from the retained dwelling via narrow link to incorporate but also to differentiate between the original dwelling and proposed addition. The extension has a modest height of 4.1m which does not overwhelm to existing dwelling or the wider heritage precinct. The change in building height from the original to the proposed is graduated and set back by means of the link section.

The restoration of the original masonry of the dwelling is more in keeping with the style of the house from the Georgian era and will protect the friable stonework.



The new shed is unobtrusive and well setback from the frontage.

The Statement of Significance excerpt outlines that the significance of the property is its contribution to the makeup of the precinct which is not diminished by the extension or outbuildings as they clearly read as new works and do not confuse or overwhelm the existing fabric.

Preapplication heritage advice was sought prior to lodgement of the application with the proposal designed in line with the heritage advisers advice below.

Property: 18 James St, Port Fairy
Listing: HO57 (James Street Precinct) Significant

Discussion:

- New owners would like to alter the building, to original era.

Heritage Items:

- The building appears to have been a mid-late 1800s cottage, with 1930s era alterations to fabric, roof form, floorplan and verandah;
- The existing dwelling presents with rough cast render finish to what would have likely been an original stone façade;
- Render surrounds around the windows and doors have been 'rendered up to', resulting in little articulation between the roughcast render finish and the render surround;
- The front verandah presents as heavy masonry balustrade with painted masonry columns;
- The roof to the verandah has been installed as an extension of the dwelling roof;
- Gutters are 'square profile', which is not appropriate for either era of the dwelling;
- The verandah wraps around the north of the dwelling, creating a covered entry to the 1930s gable addition to the rear, which would have been a typical style for a 1930s era dwelling;
- There is a bluestone trough/store area to the rear of the dwelling, and a later block unit detached garage to the north, with low level wall and picket gate;
- There is a later detached shed to the rear of the property and the rear porch has been enclosed;

Discussion:

- The dwelling is a confusion of styles, and it is noted that the new owners would like to rationalise this, driven by the desire to 'open up' the front verandah;
- It was discussed that any change to the building should 'reference' one era (either early Victorian or Edwardian/Federation);
- It is encouraged that the Port Fairy historical society and national trust branch are consulted, to assist with sourcing any potential early information / photographs of the place;
- Whilst removal of the rough cast render is encouraged, it was flagged that this finish may be concealing / have caused damage to the stone beneath, and that if the owners wish to remove this finish, it may be prudent to complete a test patch to an earlier section of the dwelling, in a conspicuous location;
- Rendering of the rough cast to a smooth finish would be supportable, with no requirement to express the render window and door surrounds, as these are likely associated with the 1930s changes;
- Given that the roof form has been altered to suit the later additions to the rear, reinstatement of the original roof form would not be required;
- Alteration of the verandah form could be supportable however, as a simple detached straight or eyelash style verandah, similar to those on

surrounding early-Victorian era cottages – it is likely the original cottage did not have a verandah, or a verandah would have been added later;

- Demolition heavy masonry verandah elements is supportable – new timber structure should be simple and avoid overly decorative elements, given there is no evidence of the original and the cottage is quite humble in nature and of an early era. If there is no evidence of the original, referring to similar cottages in Port Fairy, of similar setout and frontage is recommended;
- Gutter should be the 'quad' profile . . . 'OGEE' would likely be too decorative for this cottage;
- Solar panels should be installed to locations that aren't highly visible from the street;
- Demolition of the later garage and detached out structures is supportable;
- Install of a new detached garage/shed to the rear south western corner of the block is supportable – large expanses of colours darker than Basalt are not supportable;
- A new 1.8m open timber picket fence (devoid of ornamentation) is supportable to the northern side, aligning with the existing (ie, set back from the façade frontage);
- Ideally the entry door to the northern gable addition should be retained, as this assists with understanding the era of development;
- Paint colours for the house should reflect the era of the dwelling – warm whites and soft beiges are encouraged. Cool base tone colours are discouraged.
 - References such as What House is That, or the Port Fairy painting guidelines can offer an initial starting point for developing a colour scheme
 - chrome-extension://efaidnbmnnnnibpcjpcglclefindmkaj/https://www.heritage.vic.gov.au/__data/assets/pdf_file/0020/505235/What-house-is-that.pdf

Clause 43.02

DESIGN AND DEVELOPMENT OVERLAY

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas which are affected by specific requirements relating to the design and built form of new development.

Decision guidelines

In assessing an application the responsible authority must consider as appropriate:

- The statement of significance and the objectives contained in the schedule to the overlay and whether the buildings and works will adversely affect that significance or the objectives.*
- Whether the proposal meets any requirements specified in the overlay or the schedule to the overlay.*
- For an application in a Salinity Management Overlay, any comments from the relevant referral authority.*
- For an application in a Neighbourhood Character Overlay, the relevant objectives, standards and decision guidelines of Clause 54.*
- Any relevant decision guideline specified in the overlay and the schedule to the overlay.*

Clause 43.02-6

Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- The Municipal Planning Strategy and the Planning Policy Framework.*
- The design objectives of the relevant schedule to this overlay.*
- The provisions of any relevant policies and urban design guidelines.*
- Whether the bulk, location and appearance of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- Whether the design, form, layout, proportion and scale of any proposed buildings and works is compatible with the period, style, form, proportion, and scale of any identified heritage places surrounding the site.*
- Whether any proposed landscaping or removal of vegetation will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*

- *The layout and appearance of areas set aside for car parking, access and egress, loading and unloading and the location of any proposed off street car parking*
- *Whether subdivision will result in development which is not in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *Any other matters specified in a schedule to this overlay.*

SCHEDULE 2 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

PORT FAIRY TOWN CENTRE RESIDENTIAL PRECINCT

Design objectives

To deliver high quality and contemporary design responses that support the integration of new development with Port Fairy's historic character.

To encourage small building footprints that respond to heritage and infrastructure constraints and provide for housing diversity.

To retain the landscape qualities of the precinct and minimise the detrimental visual impact of car parking and outbuildings.

Buildings and works

A permit is required to construct a fence unless:

- *The fence is forward of the front façade of the building and does not exceed 1.2 metres in height and is at least 50 per cent permeable.*
- *The fence is behind the front façade of the building and does not exceed 2 metres in height.*

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

A permit cannot be granted to construct a building or construct or carry out works which are not in accordance with any built form requirements expressed with the term 'must'.

A permit may be granted to vary a built form requirement expressed with the term 'should'.

Site Coverage and Permeability

The combined site coverage of buildings and impermeable surfaces should respect the pattern of building and open space characteristic of the area.

ASSESSMENT

The site coverage of all buildings is 329.74 sqm which is approximately 32.5% of the 1,012 sqm site which is consistent or better than the prevailing site coverages.

BUILDING AREAS	
EXISTING DWELLING FLOOR AREA	145.30m ²
FLOOR AREA TO BE DEMOLISHED	18.70m ²
ADDITIONAL FLOOR AREA	76.24m ²
PROPOSED TOTAL FLOOR AREA	202.84m ²
EXISTING OUTDOOR SPACE	39.00m ²
ADDITIONAL OUTDOOR SPACE	17.90m ²
PROPOSED TOTAL OUTDOOR SPACE	56.90m ²
PROPOSED SHED	70.00m ²
TOTAL BUILDING AREA	329.74m ²

Building Massing

Buildings should be articulated so that the overall bulk and mass of the building does not compromise the characteristic scale and streetscape rhythm of the precinct.

ASSESSMENT

The extension and outbuildings are not at odds with scale and character of the street or its rhythm as evidenced by the site coverage and building heights.

Building Height

Building height, other than in Wishart Street, should not exceed 7 metres.

In Wishart Street, building heights should not exceed 5 metres and façade heights should not exceed 3 metres.

If the land is in a Floodway Overlay, or Land Subject to Inundation Overlay or is liable to inundation, the maximum building height specified in this schedule is the vertical distance from the minimum floor level determined by the relevant drainage authority or floodplain management authority to the roof or parapet at any point.

ASSESSMENT

The maximum building height is of all new buildings is less than is 5m.

MUNICIPAL PLANNING STRATEGY

Clause 02.03-5

Built environment and heritage

Built environment

Development occurring in coastal areas and between settlements and on highly visible sites has potential to affect landscape character. Larger, more 'imposing' dwellings, that are designed to maximise coastal views, often protrude above existing vegetation and natural landforms.

There is increasing pressure for substantial tourism development in coastal and non-urban locations. Other tourism-related development pressures relate to signs, car parking and viewing platforms.

Heritage

The Shire contains an outstanding collection of heritage places that are recognised as a significant asset and give it a distinctive character.

The Shire has been occupied by three Aboriginal clans and played a key role in local indigenous history, leaving many significant cultural heritage places, including the Budj Bim World Heritage Area, Tower Hill and areas along the coast and river valleys. Distinctive volcanic cultural landscapes contribute to the richness of the Shire's heritage. There is a need to appropriately protect these heritage places and landscapes.

Port Fairy has benefitted from heritage protection for several decades, having been the subject of one of the earliest heritage studies undertaken in Victoria in 1976. In addition, heritage protection has been applied to heritage precincts and significant places in Mortlake. There are places of heritage significance in locations other than Port Fairy and Mortlake that need to be protected from inappropriate development.

The Avenue of Honour on the eastern approach to Mortlake is historically and aesthetically significant to Victoria as a memorial to World War 1 and 2 veterans and is listed on the Victorian Heritage Register.

Strategic directions

- *Contain township development within defined boundaries and manage development on the fringes of townships to enhance the landscape setting.*
- *Retain the openness of the rural landscape between townships by limiting development.*
- *Provide for the reasonable sharing of views of significant landscape features, including views of the ocean, coastal shoreline, estuaries, wetlands and notable cultural features.*
- *Protect and enhance the Shire's heritage places and precincts.*

- *Protect and enhance Aboriginal cultural heritage sites and significant cultural landscapes, including the World Heritage listed Budj Bim Cultural Landscape and Tower Hill.*
- *Ensure that commercial signs are located away from entrances and exits to townships.*
- *Ensure that signs within the commercial cores of Port Fairy and Koroit respect and enhance the towns' heritage character.*
- *Protect and enhance landscaping, including street trees, on all major approach routes, access roads and local streets.*
- *Protect all mature Norfolk Island Pines in Port Fairy from removal and lopping, and where such species is to be removed, encourage relocation of the tree.*
- *Retain the overall low scale and simple forms of residential development across Port Fairy.*
- *Protect and enhance Port Fairy's attractive built form character to support tourism and economic development.*

ASSESSMENT

The property is significant to the heritage precinct. The proposed works are small scale and do not impact the significance of the precinct. The new garage is modest in bulk and height and well setback from the frontage will be finished in subtle muted tones to Council's satisfaction.

Clause 16.01-1S

Housing supply

Objective

To facilitate well-located, integrated and diverse housing that meets community needs.

Strategies

Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.

Increase the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas.

Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.

Identify opportunities for increased residential densities to help consolidate urban areas.

Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types.

Encourage the development of well-designed housing that:

- *Provides a high level of internal and external amenity.*
- *Incorporates universal design and adaptable internal dwelling design.*

Support opportunities for a range of income groups to choose housing in well-served locations.

Plan for growth areas to provide for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres.

ASSESSMENT

The works add to the liveability and practicality of the dwelling by increasing the floor area within a site with sufficient capacity to do so.

Clause 65.01

APPROVAL OF AN APPLICATION OR PLAN

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- *The matters set out in section 60 of the Act.*
- *Any significant effects the environment, including the contamination of land, may have on the use or development.*
- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the environment, human health and amenity of the area.*
- *The proximity of the land to any public land.*
- *Factors likely to cause or contribute to land degradation, salinity or reduce water quality.*
- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*
- *The extent and character of native vegetation and the likelihood of its destruction.*

- *Whether native vegetation is to be or can be protected, planted or allowed to regenerate.*
- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*
- *The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.*
- *The impact the use or development will have on the current and future development and operation of the transport system.*

This clause does not apply to a VicSmart application.

ASSESSMENT

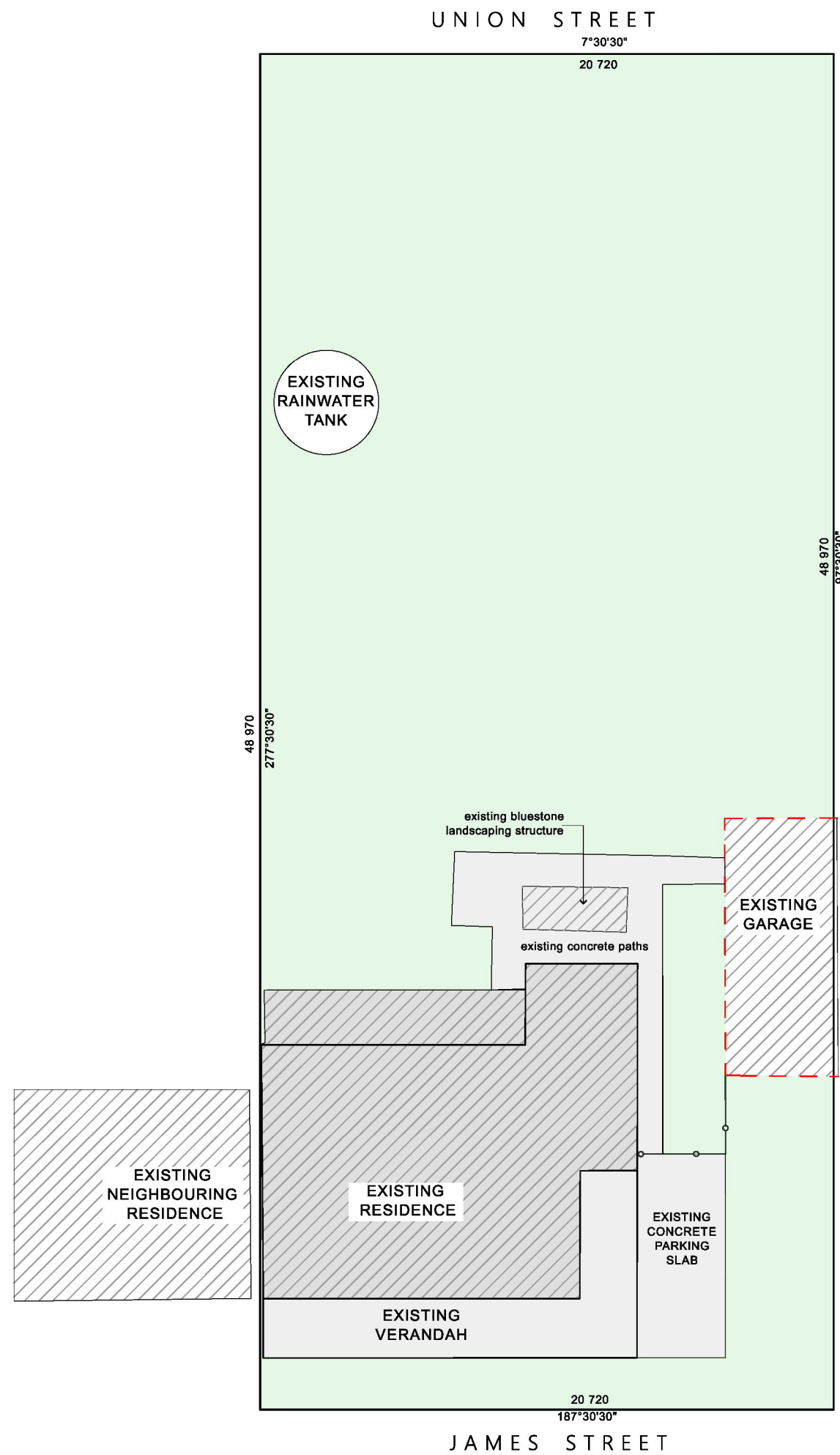
The proposal meets the decision guidelines of Clause 65 in that it is a modest single storied extension with replacement garage designed to fit with the prevailing character and site constraints. There is no vegetation for removal and existing infrastructure in place. The existing transport infrastructure is not adversely affected with the proposal representing orderly planning.

6. CONCLUSION

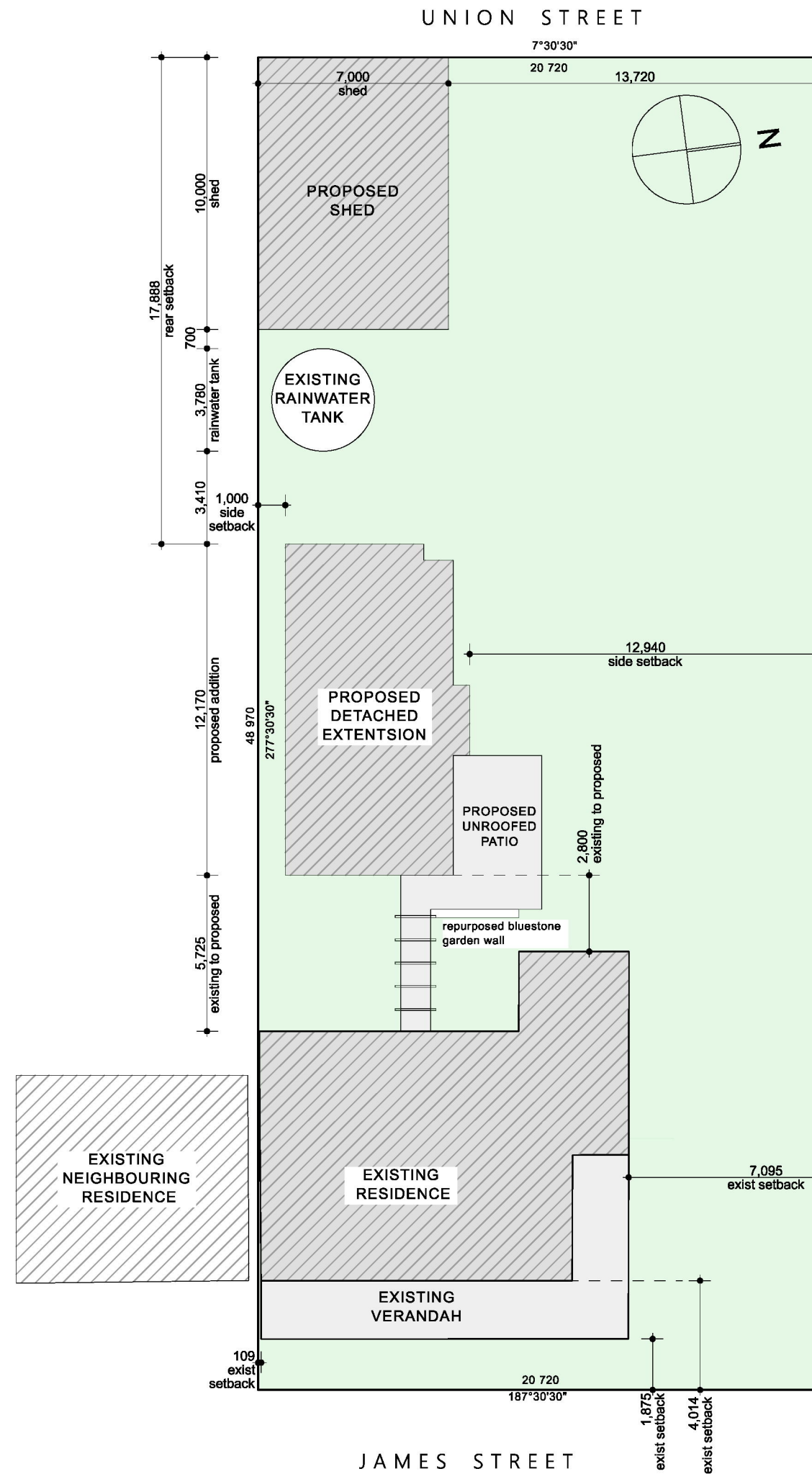
On balance the proposed extension, garage and external alterations represent subtle changes to increase the practicality of the dwelling and improve its integrity in how it reads in the streetscape by removing elements which detract from its original form. The external alterations are in keeping with the prevailing character of the dwelling and its neighbours.

The extension and new shed are low in height and do not overwhelm being barely visible from the public realm and in keeping with the style and character of the original dwelling and that of the heritage precinct.

The outcome is believed to be responsive and appropriate for its setting and as such hoped to be supported by Council.



EXISTING SITE PLAN
1:200



PROPOSED SITE PLAN
1:200

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Project
PROPOSED ALTERATIONS & ADDITIONS at
18 JAMES STREET, PORT FAIRY

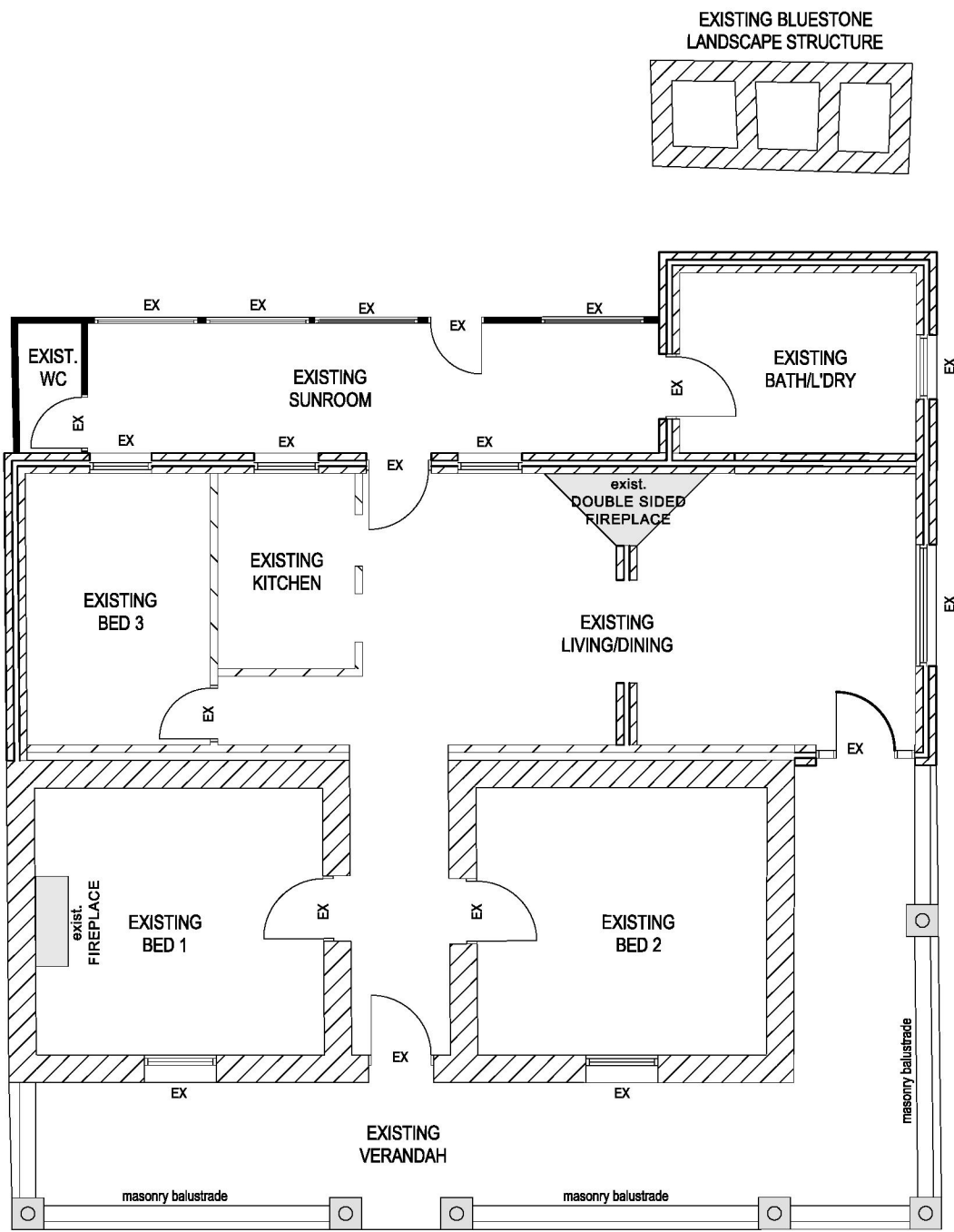
Client
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Drawing Title:
EXISTING & PROPOSED SITE PLANS

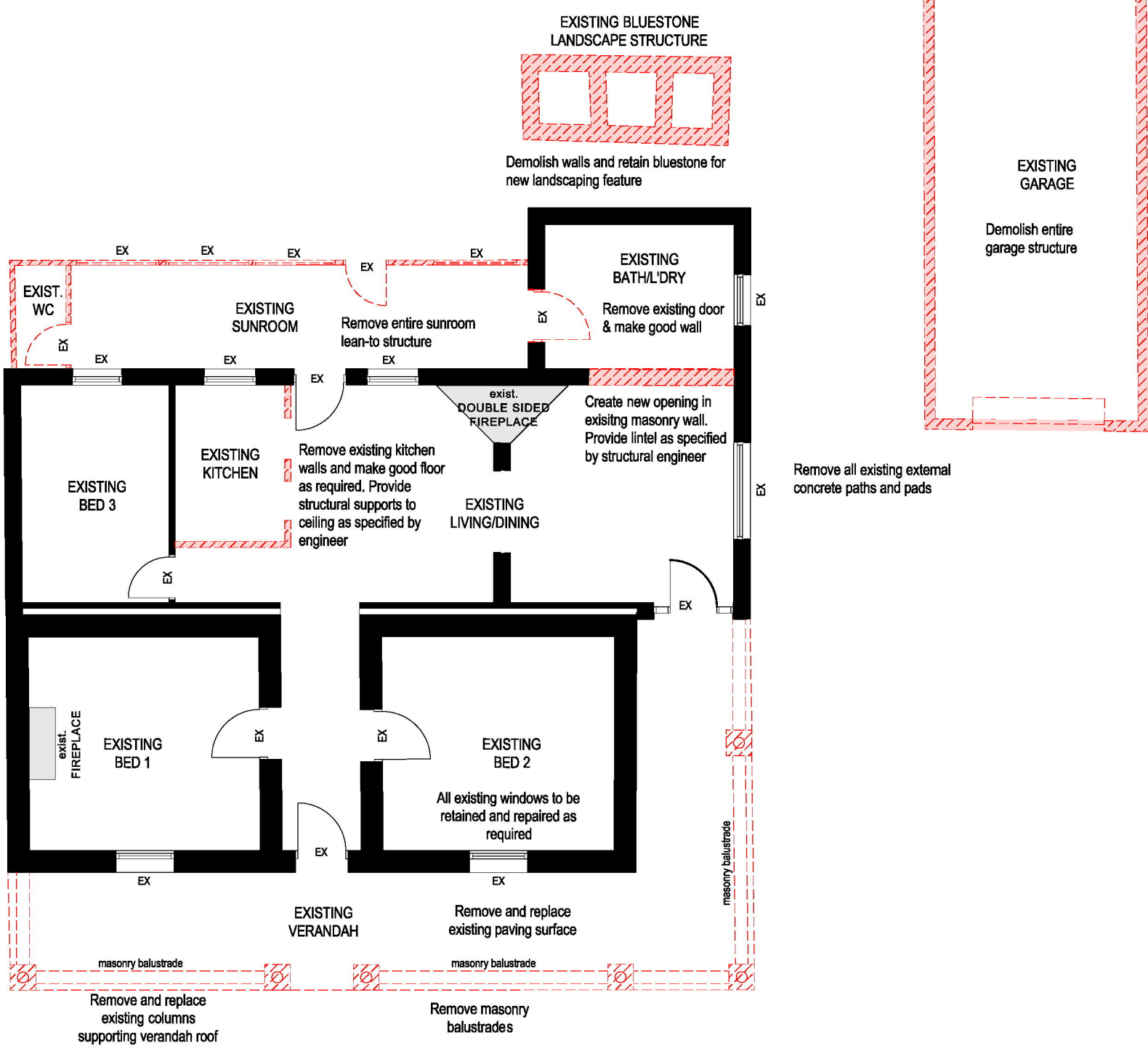
Scale: as shown @ A2

Drawn by.: HJA Date: 12/08/2026 Revision: Rev. PP1

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EXISTING FLOOR PLAN
SCALE 1:100



DEMOLITION PLAN
SCALE 1:100



EXISTING STREET ELEVATION
SCALE 1:100

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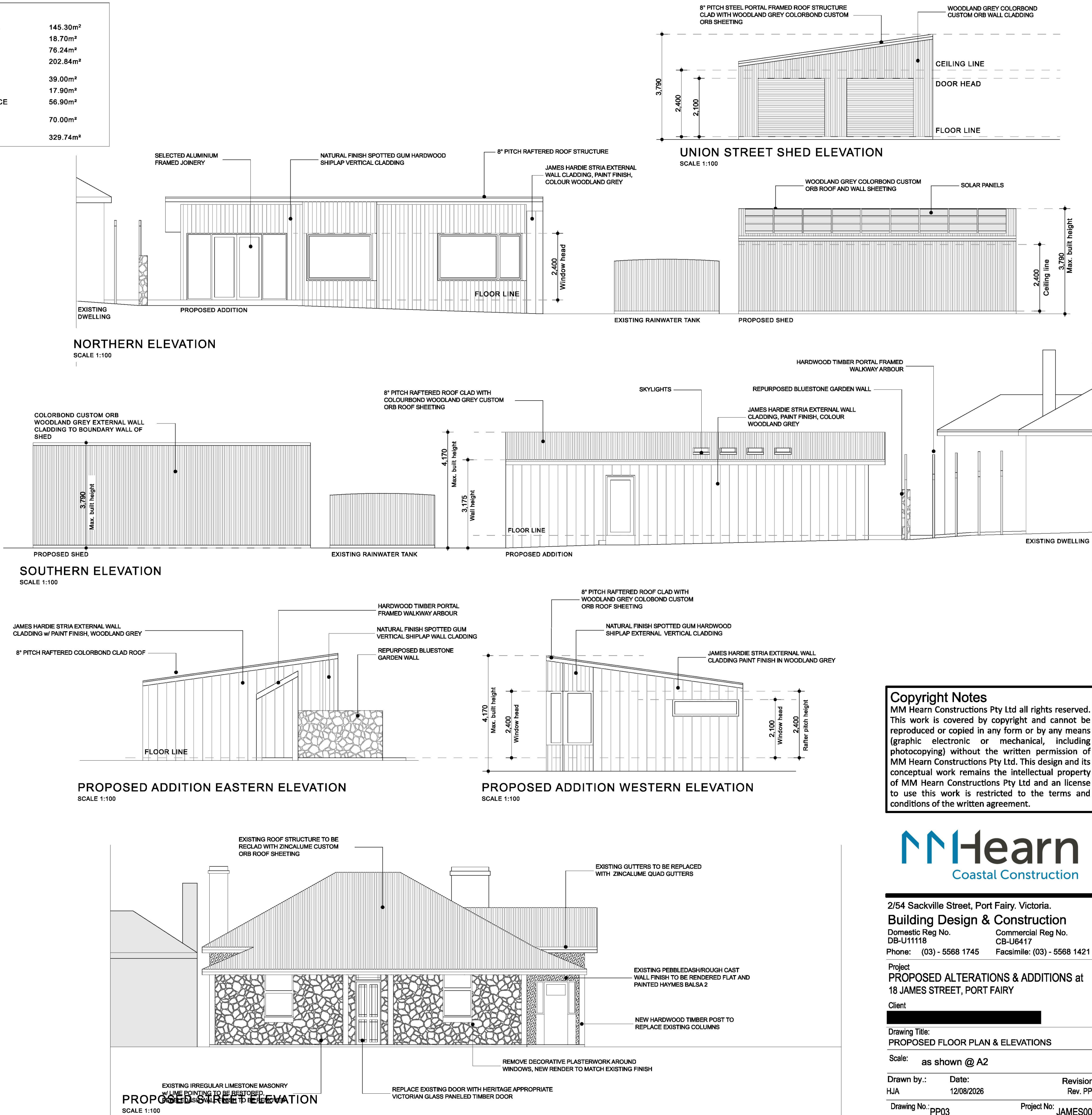
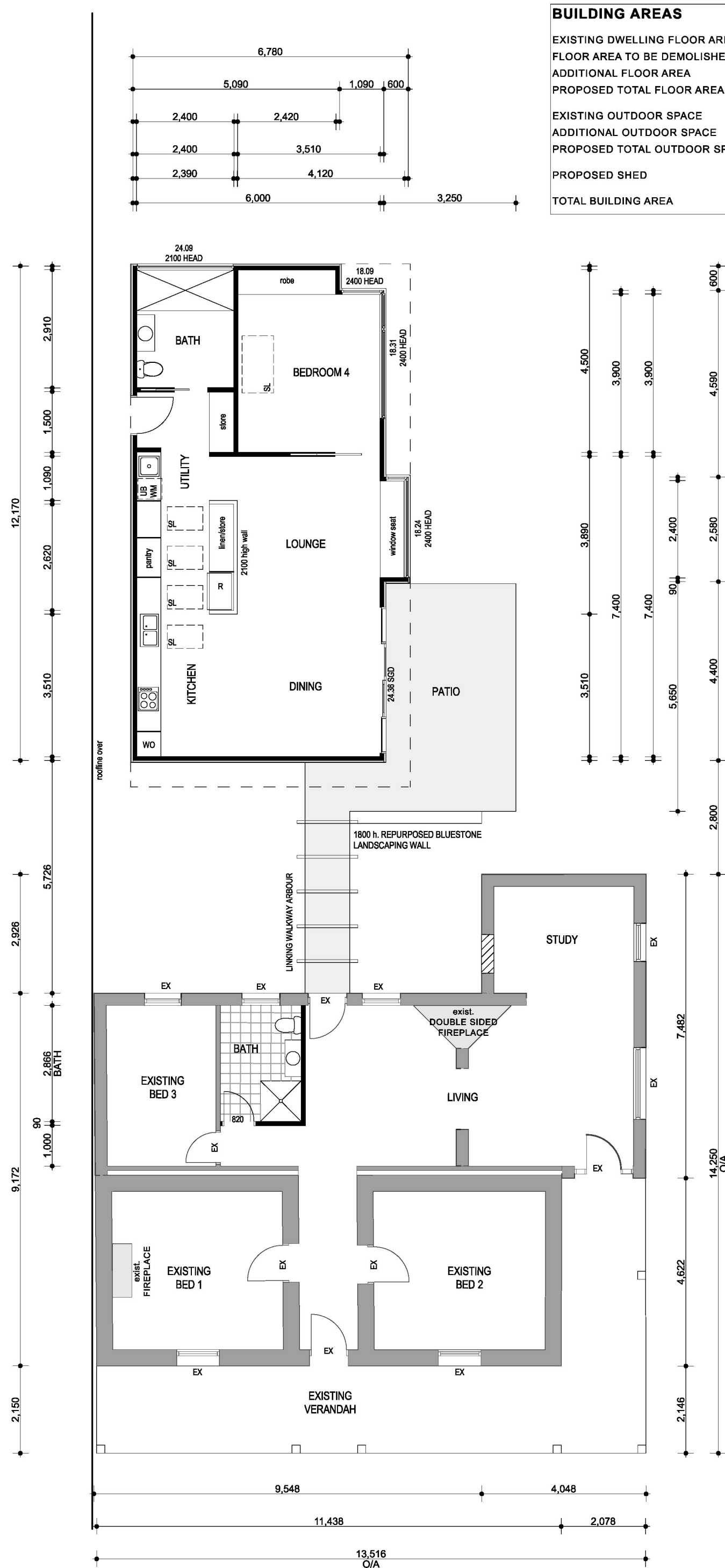
Client

Drawing Title:
EXISTING FLOOR & DEMOLITION PLAN

Scale: as shown @ A2

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Project
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Client
[REDACTED]

Drawing Title:
PROPOSED FLOOR PLAN & ELEVATIONS
Scale: as shown @ A2

Drawn by.: HJA Date: 12/08/2026 Revision: Rev. PP1
Drawing No.: pp03 Project No: JAMES001