

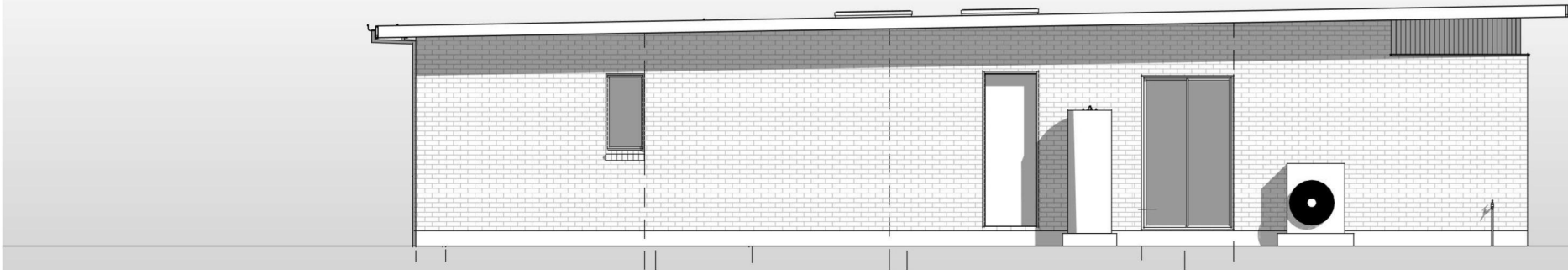
PROPOSED RESIDENCE FOR
[REDACTED]
AT
LOT 2, 163 ILLOWA ROAD,
DENNINGTON, VIC 3280

JOB No: 1710 TOTAL SHEET No. 23

SHEET LIST

No.	SHEET NAME	No.	SHEET NAME
0	COVER PAGE		
0A	GENERAL SPECIFICATION		
01	SITE PLAN		
1.1	SITE LOCATION		
02	FLOOR PLAN		
3A	ELEVATIONS		
3B	ELEVATIONS		
3C	BRICK RELIEF DETAILS		
04	SECTION		
05	ELECTRICAL PLAN		
6A	KITCHEN ELEVATIONS		
6B	INTERNAL ELEVATIONS		
6C	INTERNAL ELEVATIONS		
7A	TYPICAL LINEN DETAIL		
7B	INTERNAL ELEVATIONS		
7C	INTERNAL ELEVATIONS		
7D	INTERNAL ELEVATIONS		
7E	INTERNAL ELEVATIONS		
7F	NOGGINGS DETAILS		
7G	BENCHTOP DETAILS		
7H	BULKHEAD DETAILS		
08	SLAB PLAN		
09	PLUMBING PLAN		

PAVILION 35 - LH - AXIS



FRAMING SPECIFICATIONS

SINGLE STOREY FRAMING SCHEDULE

- 90 X 35 MGP10 PINE BOTTOM PLATE (CONCRETE SLAB)
- 90 X 35 F5 PINE STUDS @ 450 CTS - NOT NOTCHED FOR BRACING - MAX. STUD HEIGHT 2700MM
- 90 X 35 MGP10 PINE TOP PLATE - TRUSSES TO SIT DIRECTLY OVER STUD SUPPORT

DOUBLE STOREY FRAMING SCHEDULE

GROUND FLOOR

- 90 X 35 MGP10 BOTTOM PLATE (CONCRETE SLAB)
- 90 X 35 F5 STUDS @ 450 CTS - NOT NOTCHED FOR BRACING - MAX. STUD HEIGHT 2700MM
- 90 X 35 MGP10 TOP PLATE - FLOOR JOIST TO SIT DIRECTLY OVER STUD SUPPORT

FIRST FLOOR

- 90 X 35 MGP10 BOTTOM PLATE (HYJOIST RIMBOARD TO PERIMETER)
- 90 X 35 F5 STUDS @ 600 CTS - MAX. STUD HEIGHT 2700MM
- 90 X 35 MGP10 TOP PLATE - TRUSSES TO SIT DIRECTLY OVER STUD SUPPORT
- NOGGINS 70 X 35 MERCH. PINE

STUDS FOR CONCENTRATED POINT LOADS

- GIRDER TRUSSES - 3/90 X 45 F5 PINE
- STEEL BEAMS - BY ENGINEER - 90 X 45 F5 PINE OR F17 KDHW WHERE REQUIRED
- FLOOR BEAMS - FLOOR, ROOF & POINT LOAD - BY ENGINEER - 90 X 45 F5 PINE OR F17 KDHW WHERE REQUIRED
- FLOOR BEAMS - FLOOR LOAD ONLY - 90 X 35 F5 PINE

LINTELS

F17 KDHW OR EQUIVALENT & SMARTFRAME LVL - 3MM MAX. LONG TERM DEFLECTION

FLOOR BEAMS

SMARTFRAME LVL TO BE SPECIFIED FOR BEAMS IN FOOR SPACE SUPPORTING FLOOR JOIST

GARAGE BEAM

- SMARTFRAME LVL 15 400MM X 58MM
- STUDS AT SIDES OF OPENINGS - GUIDE ONLY, SUBJECT TO RLW & TRUSS DESIGN - AUTOBEAM TO CONFIRM
- UP TO 1800MM - 2/90 X 35 F5
- 1800MM - 2700MM - 3/90 X 35 F5
- 2700MM - 3000MM - 4/90 X 35 F5 OR 3/90 X 45 F5/F17 KDHW

PORCH BEAMS

AS ABOVE, BUT LONG TERM DEFLECTION INCREASED TO 10MM MAX.

ALFRESCO BEAMS

- SUPA 17 - LIMITED TO 190, 240 OR 290 X 45MM BEAMS - 10MM MAX. LONG TERM DEFLECTION
- LVL 14 - REFER TO MATERIAL GUIDES FOR SIZE, 10mm MAX. LONG TERM DEFLECTION.
- GL13 TREATED - WHERE SPANS EXCEED THE ABOVE BEAM LIMITATIONS

FRAMING BRACKETS

- DUNNINGS BCA44 GALVANISED HEAVY DUTY ANGLE 100 X 100 X 140 X 3MM THICK
- WITH 2 M10 BOLTS TO EACH SIDE - OR
- SPLIT HANGER SPH180 W/- 4 NO. NO. 14 X 30MM TYPE 17 HEX HEAD SCREWS

ALL FRAMING TO COMPLY & BE INSTALLED IN ACCORDANCE WITH AS1684.

ROOF TRUSSES TO BE INSTALLED IN ACCORDANCE WITH AS4440.

GENERAL SPECIFICATIONS

GENERAL

- ALL BUILDINGS AND WORKS TO BE IN ACCORDANCE WITH THE BUILDING ACT 1993, BUILDING REGULATIONS 2018, BUILDING CODE OF AUSTRALIA 2019 (BCA) AND ALL BCA ADOPTED AUSTRALIAN STANDARDS.
- BUILDING/S ON ALLOTMENTS WITHIN THE DESIGNATED BUSHFIRE AREA TO BE CONSTRUCTED IN ACCORDANCE WITH AS 3959 FOR THE APPROPRIATE BAL LEVEL CALCULATED FOR THE SITE.
- THE FFL TO AHD OF A DWELLING IS TO BE CONFIRMED BY A LICENSED LAND SURVEYOR PRIOR TO THE FRAME INSPECTION FOR ALLOTMENTS DESIGNATED LAND LIABLE TO FLOOD &/OR DESIGNATED LAND - OVERLAND FLOW.
- BUILDINGS MUST COMPLY WITH CLAUSE 3.10.3 BCA AND ABCB FLOOD HAZARD MANAGEMENT STANDARD WHEN A SITE IS DESIGNATED AS LAND LIABLE TO FLOOD.
- PERFORMANCE SOLUTIONS PURSUANT TO PART 2 BCA APPLY WITH THE CONSTRUCTION OF THIS BUILDING AS AN ALTERNATIVE TO THE DEEMED TO SATISFY REQUIREMENTS OF THE BCA.
- DOORWAYS TO SANITARY COMPARTMENTS WHERE THE DOOR IS WITHIN 1200MM OF THE PAN MUST BE FITTED WITH LIFT OFF HINGES.
- ANTI-PONDING DEVICE/BOARDS TO BE INSTALLED PURSUANT TO CLAUSE 3.5.2.5, BCA.
- BALCONIES TO HAVE A MINIMUM STEP DOWN OF 50mm FROM FIRST FLOOR LEVEL TO BALCONY FINISHED SURFACE LEVEL.
- REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- ALL DIMENSIONS NOMINAL ONLY.

SITE WORKS/SITING

- BUILDINGS AND ALL SITE WORKS TO BE CONSTRUCTED AND MAINTAINED WITHIN THE TITLE BOUNDARIES.
- EARTHWORKS (UN-RETAINED) SHALL NOT EXCEED 2000MM MAX.
- SLOPE RATIOS FOR EARTHWORKS

SOIL CLASS	SITE CUT MAX RATIO	SITE FILL MAX RATIO
STABLE ROCK - CLASS A	8:1	2:3
SAND - CLASS A	1:2	1:1
FIRM CLAY - CLASS M-E	1:1	1:2
SOFT CLAY - CLASS M-E	2:3	NOT SUITABLE

- SLOPE RATIOS FOR FILLED SOFT CLAY (CLASS M-E) AND ALL EARTHWORKS FOR CLASS P SITES MUST BE SPECIFIED BY THE DESIGNING ENGINEER AND NOMINATED ON THE SITE PLAN.

TERMITE TREATMENT

- TERMITE TREATMENT TO BE PROVIDED WHERE NOMINATED BY THE RELEVANT MUNICIPALITY AS AN AFFECTED AREA PURSUANT TO PART 3.1.4 BCA AND AS3660.

DRAINAGE

- SURFACE DRAINAGE TO COMPLY WITH CLAUSE 3.1.3.3 BCA
- STORMWATER DRAINAGE TO COMPLY WITH CLAUSE 3.1.3.5 BCA AND CONNECTED TO THE RELEVANT MUNICIPALITY'S APPROVED LEGAL POINT OF DISCHARGE.
- STEP DOWNS/FREEBOARD
 - STEP DOWNS ABOVE EXTERNAL CONCRETE OR BALCONIES THAT ARE SLOPED AWAY FROM THE DWELLING TO BE 50MM MIN.
 - STEP DOWNS ABOVE ALL OTHER SURFACES TO BE 150MM

FOUNDATIONS

- ALL FOUNDATIONS TO BE CONSTRUCTED IN ACCORDANCE WITH THE ENGINEER'S CERTIFIED DESIGN, PART 2.3 BCA AND AS 2870.
- CONCRETE TO BE MANUFACTURED TO AS 3600

WALL CLADDING

- BRICKWORK TO COMPLY WITH PART 3.3 BCA, AS 3700 & AS 4773
- ARTICULATION JOINTS WITH A MIN WIDTH OF 10MM TO BE PROVIDED AS SPECIFIED IN THE ENGINEER'S DESIGN AND CLAUSE 3.3.5.13 BCA.
- HEBEL PANELS TO BE PROVIDED AND INSTALLED PURSUANT TO THE NATA TESTING AUTHORITY APPROVED MANUFACTURER'S SPECIFICATIONS
- FOAMBOARD WALL CLADDING TO BE PROVIDED AND INSTALLED PURSUANT TO THE NATA TESTING AUTHORITY APPROVED MANUFACTURER'S SPECIFICATIONS
- ANGLE LINTELS

SPAN	MIN. END BEARING (MM)	4 COURSES (MM)	FULL WALL OR GABLE (MM)
2000	115	76 x 76 x 5	76 x 76 x 5
2000 - 3000	130	76 x 76 x 6.5	102 x 76 x 6.5
3000 - 4000	150	152 x 102 x 10	152 x 102 x 10

NOTE: IN CAVITY BRICKWORK, A SEPARATE LINTEL WILL BE REQUIRED FOR EACH SKIN OF BRICKWORK.

GUTTERS & DOWNPIPES

- ALL GUTTERS AND DOWNPIPES ARE TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH AS 3500.3
- PLUMBERS FOR GUTTERS AND DOWNPIPES TO CLEARLY SPECIFY COMPLIANCE TO AS 3500.3 IN THE PLUMBING COMPLIANCE CERTIFICATE.

WATERPROOFING

- ALL WET AREAS TO COMPLY WITH CLAUSE 3.8.1.2 BCA AND AS 3740
- BALCONY WATERPROOFING TO BE PROVIDED PURSUANT TO CLAUSE 3.8.1.3, BCA AND AS 4654 PARTS 1 & 2.
- ALL FLOOR WATERPROOFING IN WET AREAS TO TERMINATE AT A WATERSTOP IN ACCORDANCE WITH AS3740.

SMOKE ALARMS

- INTERCONNECTED CEILING MOUNTED SMOKE ALARMS WIRED DIRECTLY TO MAINS WITH BATTERY BACKUP AND INSTALLED IN ACCORDANCE WITH PART 3.7.5 BCA AND AS 3886
- SMOKE DETECTORS TO BE 300mm CLEAR OF WALLS, DOORS & BULKHEADS.

GLAZING

- THE TYPE GLASS AND INSTALLATION OF ALL GLAZING (WINDOWS, DOORS, SHOWER SCREENS, BALUSTRADES AND ROOF LIGHTS) TO BE IN ACCORDANCE WITH PART 3.6 BCA AND AS 2047.

APPLIANCES NOTE

- APPLIANCES SHOWN IN THE DRAWINGS ARE GENERIC ONLY . FINAL APPEARANCE OF APPLIANCES MAY VARY.

BAL 12.5-CONSTRUCTION REQUIREMENTS (AS 3959:2018)

- ALL WORKS TO COMPLY WITH AS 3969:2018 AND NCC HOUSING PROVISIONS.

EXTERNAL WALLS

- NO SPECIFIC CONSTRUCTION REQUIREMENTS FOR WALL SYSTEM.
- EXTERNAL WALLS TO BE NON-COMBUSTIBLE, FIBRE CEMENT (MIN 6MM), OR APPROVED TIMBER.
- ALL JOINTS TO BE SEALED, OVERLAPPED OR BACKED-NO GAPS > 3MM.
- VENTS AND WEEPHOLES TO BE FITTED WITH CORROSION RESISTANT MESH ≤2MM APERTURE.

WINDOWS AND GLAZED ELEMENTS

WINDOWS TO COMPLY WITH ONE OF THE FOLLOWING:

- TOUGHENED SAFETY GLASS MIN 4MM THICK, OR
- METAL MESH SCREENS S2MM APERTURE.
- WINDOW FRAMES TO BE METAL, BUSHFIRE RESISTING TIMBER OR APPROVED SPECIES.
- OPENABLE PORTIONS TO BE SCREENED INTERNALLY OR EXTERNALLY.
- ALL GAPS AROUND SCREENS NOT TO EXCEED 3MM.

DOORS

- EXTERNAL DOORS TO BE NON-COMBUSTIBLE, OR SOLID TIMBER MIN 35MM (LOWER 400MM), OR
- HOLLOW CORE WITH NON-COMBUSTIBLE KICK PLATE.
- GLAZED DOORS TO COMPLY WITH WINDOW REQUIREMENTS.
- DOORS TO BE TIGHT FITTING WITH WEATHER SEALS-MAX GAP 3MM.

ROOFING

- ROOF COVERING TO BE NON-COMBUSTIBLE.
- ROOF/WALL JUNCTIONS TO BE SEALED-NO GAPS > 3MM.
- ROOF VENTS, GABLES AND OPENINGS TO BE PROTECTED WITH ≤2MM MESH.
- SARKING TO BE INSTALLED CONTINUOUSLY AND EXTEND INTO GUTTERS AND VALLEYS.
- ALL PENETRATIONS TO BE SEALED AND FLASHED WITH NON-COMBUSTIBLE MATERIAL.

EAVES AND GABLES

- NO SPECIFIC REQUIREMENT TO ENCLOSE.
- ANY OPENINGS >3MM TO BE SEALED OR PROTECTED WITH 2MM MESH.
- GABLES TO COMPLY WITH EXTERNAL WALL REQUIREMENTS.

VERANDAHS, DECKS AND SUBFLOOR

- NO REQUIREMENT TO ENCLOSE SUBFLOOR.
- ELEMENTS WITHIN 400MM OF GROUND TO COMPLY WITH EXTERNAL WALL REQUIREMENTS.
- DECKING WITHIN 300MM HORIZONTAL OF GLAZING TO BE NON-COMBUSTIBLE OR APPROVED TIMBER.

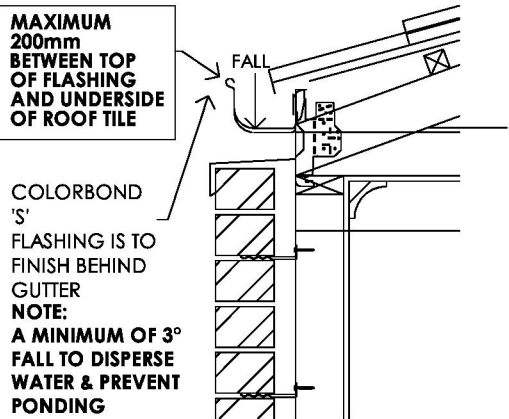
GARAGE DOORS

- LOWER 400MM TO BE NON-COMBUSTIBLE, TIMBER OR FIBRE CEMENT 26MM.
- DOORS TO BE FITTED WITH WEATHER SEALS-MAX GAP 3MM.
- ROLLER DOORS TO HAVE GUIDE TRACKS AND BRUSH SEALS.

SERVICES

- EXPOSED WATER AND GAS PIPES TO BE METAL.
- ROOF MOUNTED UNITS TO HAVE EMBER PROTECTION OR NON-COMBUSTIBLE SHUTDOWN SYSTEMS.

GENERIC BRICK VENEER 'S' FLASHING DETAIL



IMPORTANT NOTE: GENERAL SPECIFICATIONS ARE EFFECTIVE FROM A DEPOSIT DATE OF 1ST MAY 2019 ONWARDS TO COMPLY WITH NCC (BCA) 2019.	REV	DESCRIPTION	DRAWN	DATE	NORTH	CLIENT SIGNATURE:	DRAWING TITLE: GENERAL SPECIFICATION	Novara Homes SIMPLY BEAUTIFUL DESIGN 2 Nexus Court Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320 © COPYRIGHT 2023	CLIENT:
	001	PRELIMINARY	NHU.VO	01/19/2026					ADDRESS: LOT 2, 163 ILLOWA ROAD,
	002	CONSTRUCTION	NHU.VO	02/12/2026			SUBURB: DENNINGTON, VIC 3280		
	003	CONSTRUCTION	NHU.VO	03/23/2026			JOB DATE: 01/19/2026 MASTER DATE: 08/29/2024		
	A	CONSTRUCTION	QUYNH.VO	03/27/2026			DRAWN: MITEK CHECKED: NOVARA		
	B	CONSTRUCTION	QUYNH.VO	04/02/2026			JOB No: 1710 ISSUE: MASTER		
	C	CONSTRUCTION	THANG.NG	04/28/2026			SCALE: SHEET No: 0A TOTAL No: 23		
	D	CONSTRUCTION	QUYNH.VO	05/13/2026					

IMPORTANT NOTE:

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-LOT SIZE INFORMATION WILL VARY ONCE THE HOUSE TYPE IS APPLIED TO A CLIENT SPECIFIC SITE.

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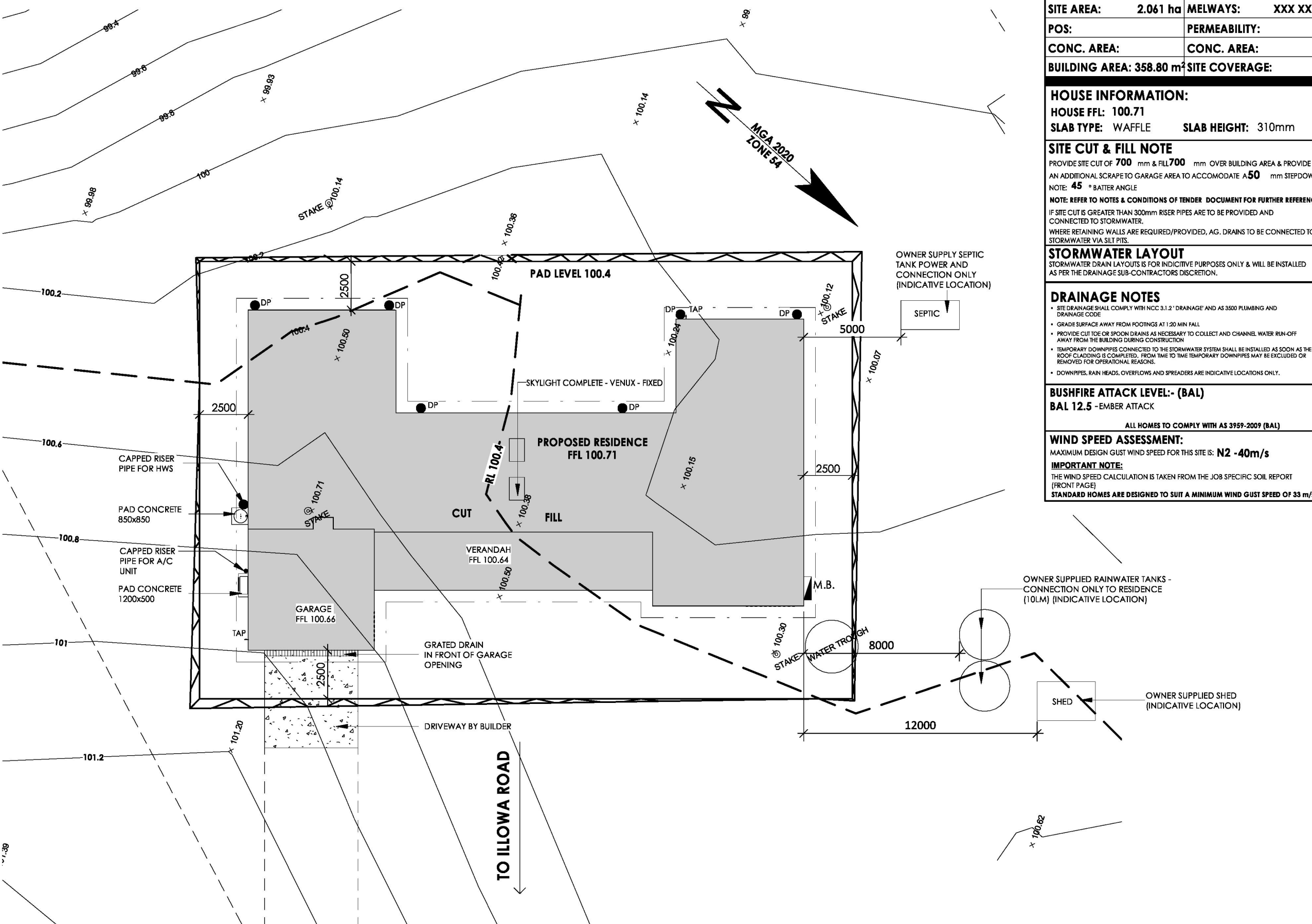
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-LOCATION OF ALLEXISTING ONSITE SERVICES TO BE CONFIRMED ONSITE PRIOR TO CONSTRUCTION



SITE PLAN INFORMATION:

SITE AREA:	2.061 ha	MELWAYS:	XXX XX
POS:		PERMEABILITY:	
CONC. AREA:		CONC. AREA:	
BUILDING AREA:	358.80 m ²	SITE COVERAGE:	

HOUSE INFORMATION:

HOUSE FFL: 100.71
SLAB TYPE: WAFFLE SLAB HEIGHT: 310mm

SITE CUT & FILL NOTE

PROVIDE SITE CUT OF 700 mm & FILL 700 mm OVER BUILDING AREA & PROVIDE AN ADDITIONAL SCRAPE TO GARAGE AREA TO ACCOMMODATE A 50 mm STEPDOWN NOTE: 45 ° BATTER ANGLE

NOTE: REFER TO NOTES & CONDITIONS OF TENDER DOCUMENT FOR FURTHER REFERENCE

IF SITE CUT IS GREATER THAN 300mm RISER PIPES ARE TO BE PROVIDED AND CONNECTED TO STORMWATER.

WHERE RETAINING WALLS ARE REQUIRED/PROVIDED, AG. DRAINS TO BE CONNECTED TO STORMWATER VIA SILT PITS.

STORMWATER LAYOUT

STORMWATER DRAIN LAYOUTS IS FOR INDICATIVE PURPOSES ONLY & WILL BE INSTALLED AS PER THE DRAINAGE SUB-CONTRACTORS DISCRETION.

DRAINAGE NOTES

- SITE DRAINAGE SHALL COMPLY WITH NCC 3.1.2 'DRAINAGE' AND AS 3500 PLUMBING AND DRAINAGE CODE
- GRADE SURFACE AWAY FROM FOOTINGS AT 1:20 MIN FALL
- PROVIDE CUT TIE OR SPOON DRAINS AS NECESSARY TO COLLECT AND CHANNEL WATER RUN-OFF AWAY FROM THE BUILDING DURING CONSTRUCTION
- TEMPORARY DOWNPIPES CONNECTED TO THE STORMWATER SYSTEM SHALL BE INSTALLED AS SOON AS THE ROOF CLADDING IS COMPLETED. FROM TIME TO TIME TEMPORARY DOWNPIPES MAY BE EXCLUDED OR REMOVED FOR OPERATIONAL REASONS.
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BUSHFIRE ATTACK LEVEL:- (BAL)

BAL 12.5 - EMBER ATTACK

ALL HOMES TO COMPLY WITH AS 3959-2009 (BAL)

WIND SPEED ASSESSMENT:

MAXIMUM DESIGN GUST WIND SPEED FOR THIS SITE IS: N2 -40m/s

IMPORTANT NOTE:

THE WIND SPEED CALCULATION IS TAKEN FROM THE JOB SPECIFIC SOIL REPORT (FRONT PAGE)

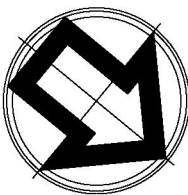
STANDARD HOMES ARE DESIGNED TO SUIT A MINIMUM WIND GUST SPEED OF 33 m/s

DRAWING LEGEND:

	METER BOX		P.O.S. PRIVATE OPEN SPACE
	TREE TO BE RETAINED		DP DOWN PIPE LOCATIONS
	TREE TO BE REMOVED		HDO LEGAL POINT OF DISCHARGE
	HAB HABITABLE WINDOW		S/W PIT STORM WATER PIT
	NH NON-HABITABLE WINDOW		G.W.T. GAS - WATER - TELSTRA
	SURVEY PEG		NEIGHB'S APP'X SETBACKS

REV	DESCRIPTION	DRAWN	DATE
001	PRELIMINARY	NHU.VO	01/19/2026
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NORTH



CLIENT SIGNATURE:

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BUILDER:

DATE:

DRAWING TITLE:

SITE PLAN

HOUSE: PAVILION 35 - LH

FACADE: AXIS

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Novara Homes
SIMPLY BEAUTIFUL DESIGN

2 Nexus Court Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320

CLIENT:

ADDRESS: LOT 2, 163 ILLOWA ROAD,

SUBURB: DENNINGTON, VIC 3280

JOB DATE: 01/19/2026 MASTER DATE: 08/29/2024

DRAWN: MITEK CHECKED: NOVARA

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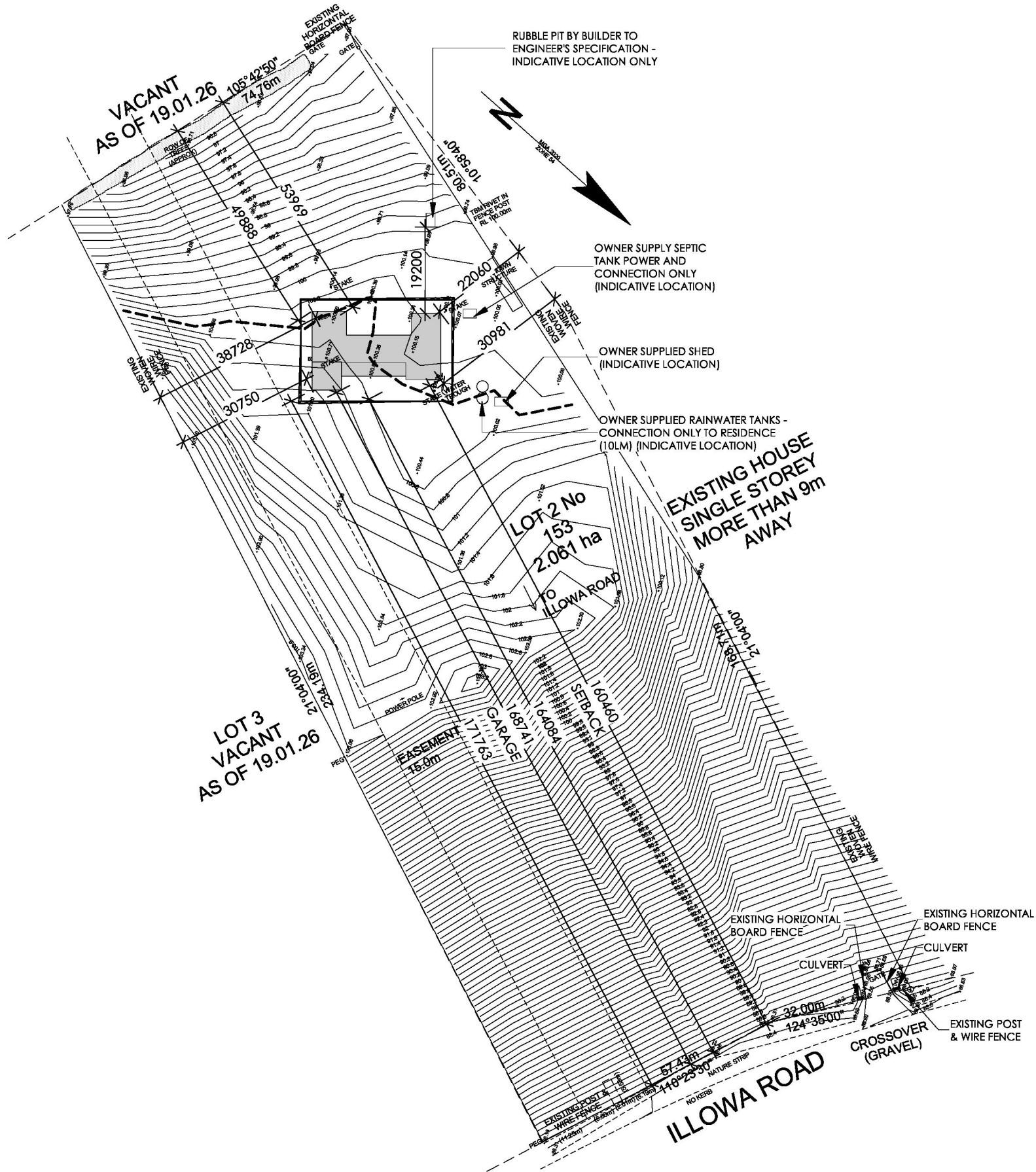
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BAL 12.5 - EMBER ATTACK

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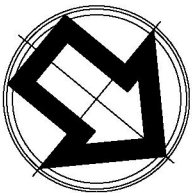
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	TREE TO BE REMOVED		ELECTRICITY PIT
	HABITABLE WINDOW		LEGAL POINT OF DISCHARGE
	NON-HABITABLE WINDOW		STORM WATER PIT
	SURVEY PEG		GAS - WATER - TELSTRA
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NORTH



CLIENT SIGNATURE:

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BUILDER:

DATE:

DRAWING TITLE:

SITE LOCATION

HOUSE: PAVILION 35 - LH

FACADE: AXIS

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Novara Homes
SIMPLY BEAUTIFUL DESIGN

2 Nexus Court Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320

CLIENT:

ADDRESS: LOT 2, 163 ILLOWA ROAD,

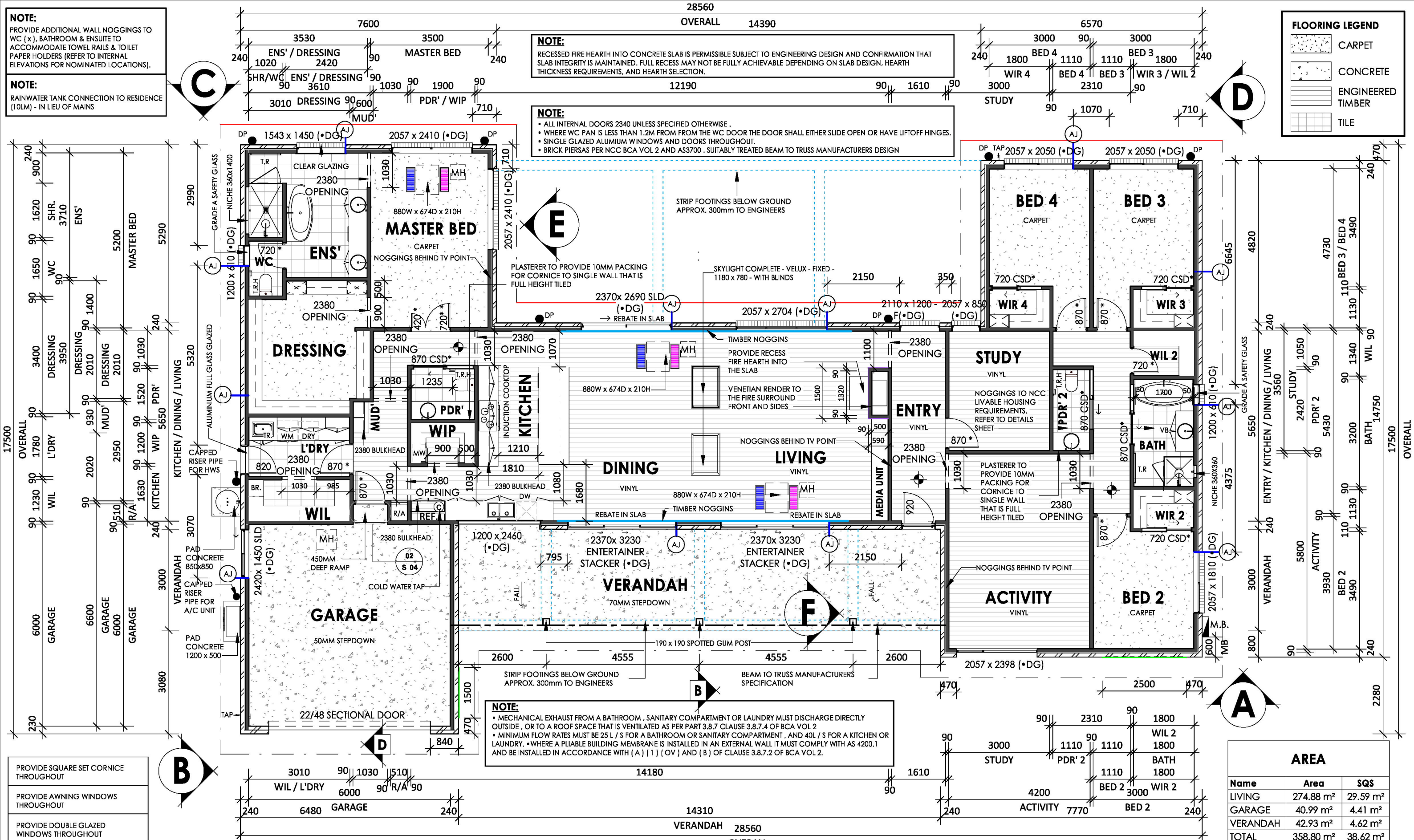
SUBURB: DENNINGTON, VIC 3280

JOB DATE: 01/19/2026 MASTER DATE: 08/29/2024

DRAWN: MITEK CHECKED: NOVARA

JOB No: 1710 ISSUE: MASTER

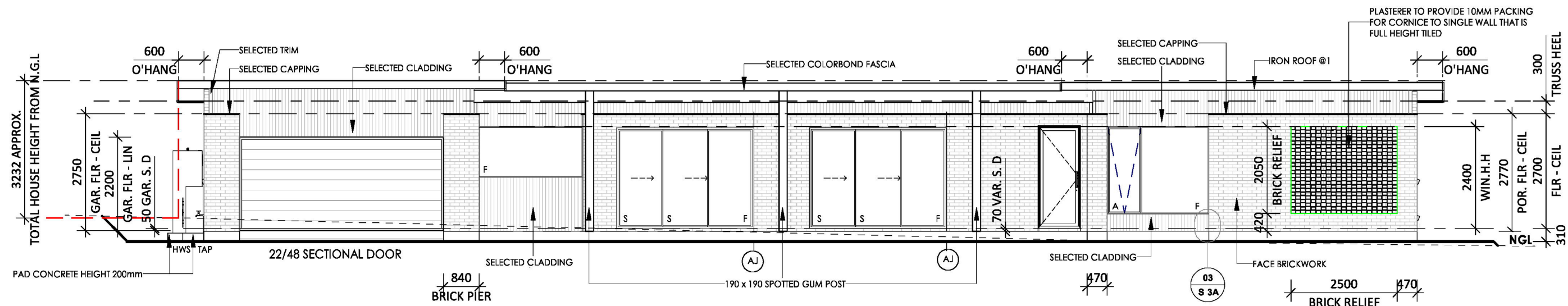
SCALE: 1 : 1100 SHEET No: 1.1 TOTAL No: 23



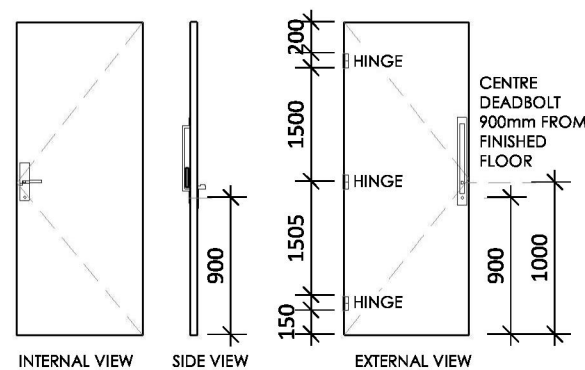
EXHAUST FAN FLUMED TO EXTERNAL AIR
THROUGH FASCIA VENT. INDICATIVE
ONLY EXACT LOCATION AT
CONTRACTORS DISCRETION

NOTE: ALUMINIUM FRAMED
WINDOWS TO FRONT FACADE
(UNLESS NOTED OTHERWISE)

IMPORTANT NOTE:
CONDENSATION MANAGEMENT IN ACCORDANCE
WITH NCC PART 10.8



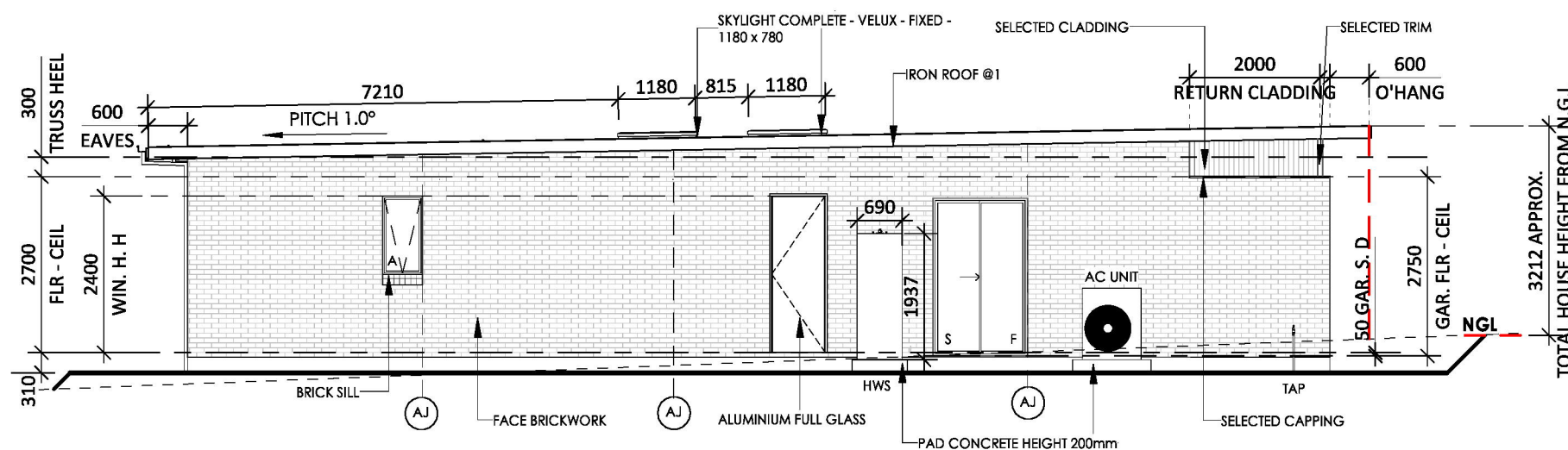
Elevation - A



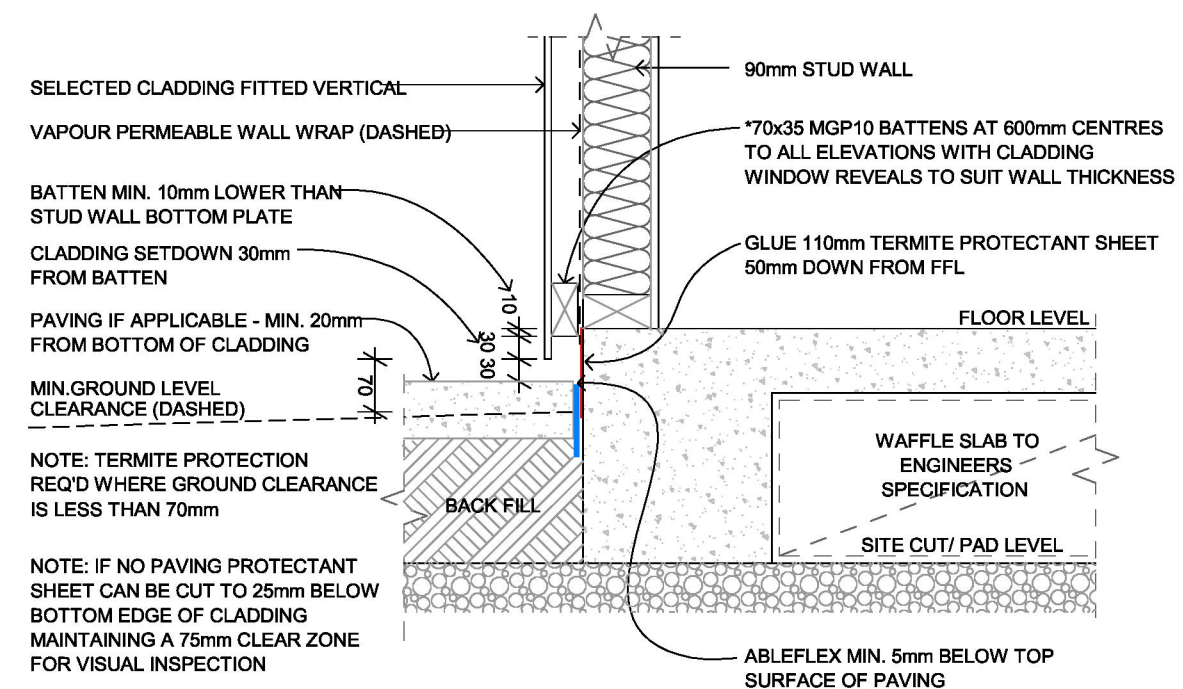
RELIEF BRICK PATTERN

ENTRY DOOR HANDLE DETAIL

SCALE 1:50



Elevation - B



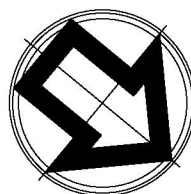
03 - VERTICAL CLADDING DETAILS

SCALE 1:50

GENERAL NOTES:

- ALL FIRST FLOOR WINDOWS TO BE RESTRICTED TO A MAXIMUM 125mm OPENING
- DOORS TO WC, POWDER ROOM WC, & ENSUITE WC TO BE FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH B.C.A. 3.8.3
- WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO THE NEAREST BRICK COURSE (UNLESS NOTED OTHERWISE)
- ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (Amtd 1-2008) (REFER TO ENERGY RATING FOR ALL GLAZING VALUES).
- FOAM SYSTEM REFER TO ATTACHED SPECIFICATIONS [WHERE APPLICABLE]

REV	DESCRIPTION	DRAWN	DATE
001	PRELIMINARY	NHU.VO	01/19/2026
002	CONSTRUCTION	NHU.VO	02/12/2026
003	CONSTRUCTION	NHU.VO	03/23/2026
A	CONSTRUCTION	QUYNH.VO	03/27/2026
B	CONSTRUCTION	QUYNH.VO	04/02/2026
C	CONSTRUCTION	THANG.NG	04/28/2026
D	CONSTRUCTION	QUYNH.VO	05/13/2026



CLIENT SIGNATURE:

CLIENT SIGNATURE:

BUILDER:

DATE:

DRAWING TITLE:
ELEVATIONS

HOUSE: PAVILION 35 - LH

FACADE: AXIS

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Novara Homes
SIMPLY BEAUTIFUL DESIGN

2 Nexus Court Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320

CLIENT: [REDACTED]

ADDRESS: LOT 2, 163 ILLOWA ROAD,

SUBURB: DENNINGTON, VIC 3280

JOB DATE: 01/19/2026	MASTER DATE: 08/29/2024
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DRAWN: MITEK	CHECKED: NOVARA
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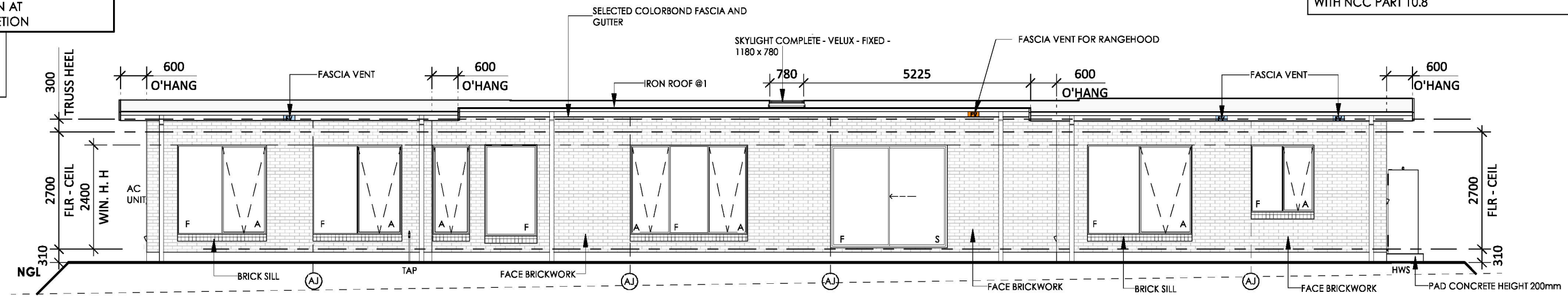
JOB No: 1710	ISSUE: MASTER
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SCALE: 1:100	SHEET No: 3A TOTAL No: 23
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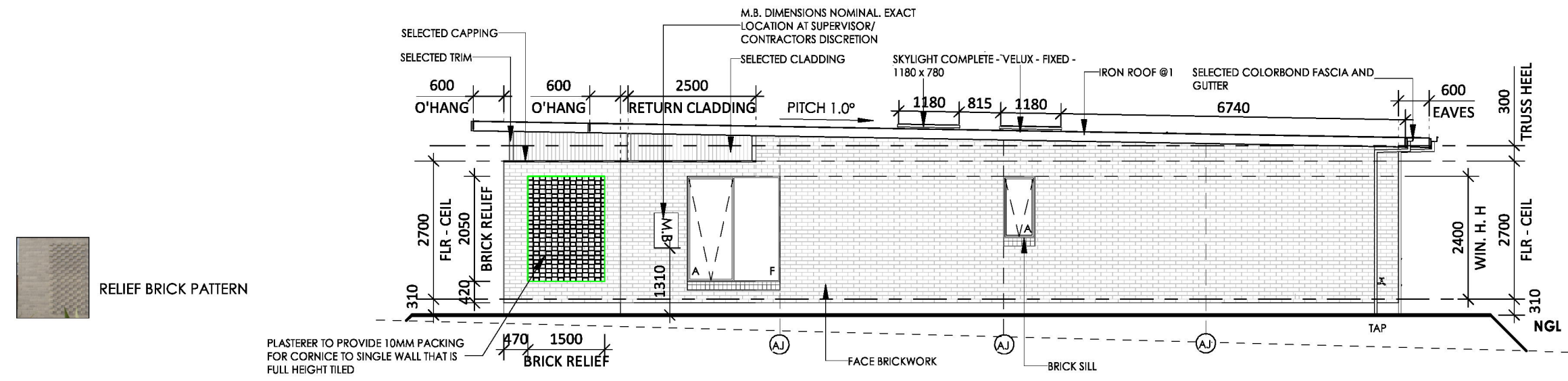
EXHAUST FAN FLUMED TO EXTERNAL AIR THROUGH FASCIA VENT. INDICATIVE ONLY EXACT LOCATION AT CONTRACTORS DISCRETION

NOTE: ALUMINIUM FRAMED WINDOWS TO FRONT FACADE (UNLESS NOTED OTHERWISE)

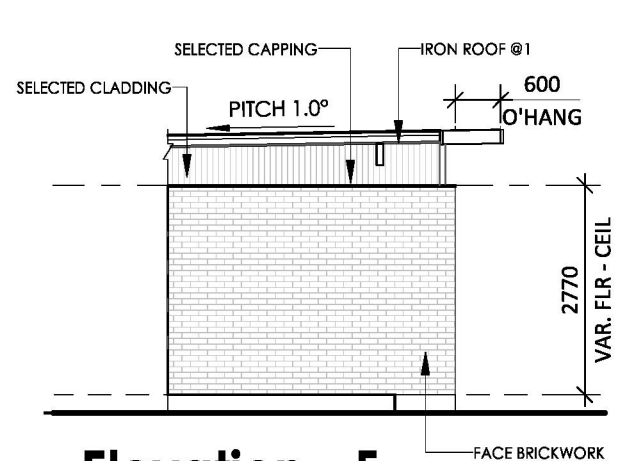
IMPORTANT NOTE:
CONDENSATION MANAGEMENT IN ACCORDANCE WITH NCC PART 10.8



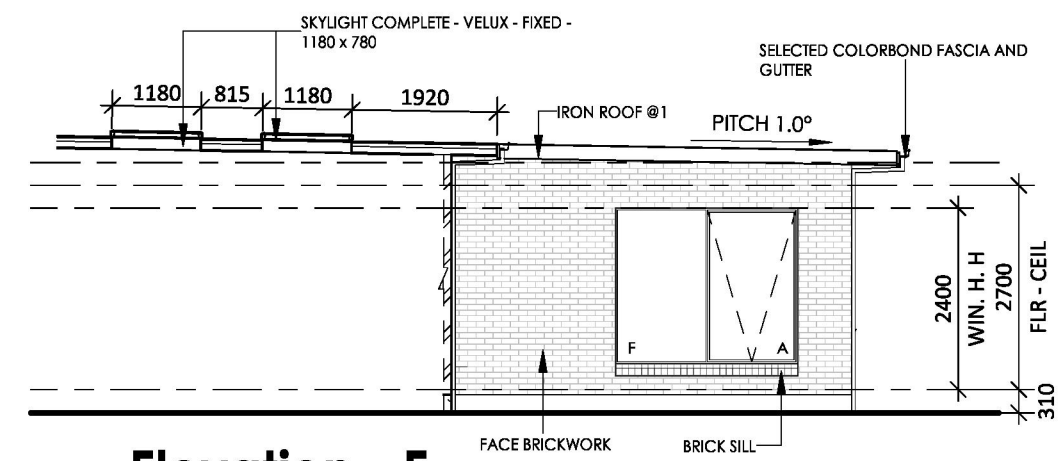
Elevation - C



Elevation - D



Elevation - F



Elevation - E

GENERAL NOTES:

- ALL FIRST FLOOR WINDOWS TO BE RESTRICTED TO A MAXIMUM 125mm OPENING
- DOORS TO WC, POWDER ROOM WC, & ENSURE WC TO BE FITTED WITH LIFT OFF HINGES IN ACCORDANCE WITH B.C.A. 3.8.3
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- ALL GLAZING TO COMPLY WITH A.S. 1288-2006 (Amdt 1-2008) [REFER TO ENERGY RATING FOR ALL GLAZING VALUES]
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* DENOTES AWNING STYLE DOUBLE GLAZED WINDOWS

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B	CONSTRUCTION	QUYNH.VO	04/02/2026
C	CONSTRUCTION	THANG.NG	04/28/2026
D	CONSTRUCTION	QUYNH.VO	05/13/2026

NORTH

CLIENT SIGNATURE:

CLIENT SIGNATURE:

BUILDER:

DATE:

DRAWING TITLE:
ELEVATIONS

HOUSE: PAVILION 35 - LH
FACADE: AXIS

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CLIENT:

ADDRESS: LOT 2, 163 ILLOWA ROAD,

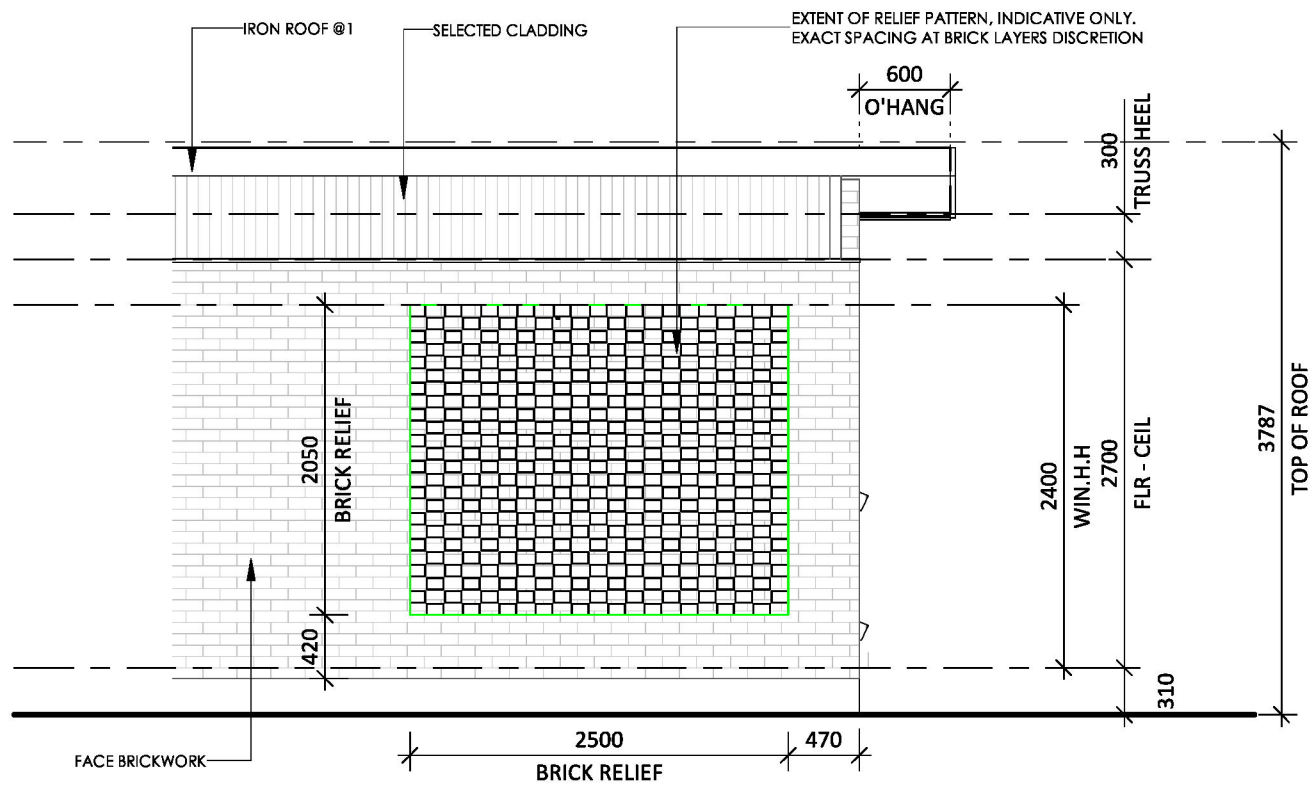
SUBURB: DENNINGTON, VIC 3280

JOB DATE: 01/19/2026 MASTER DATE: 08/29/2024

DRAWN: MITEK CHECKED: NOVARA

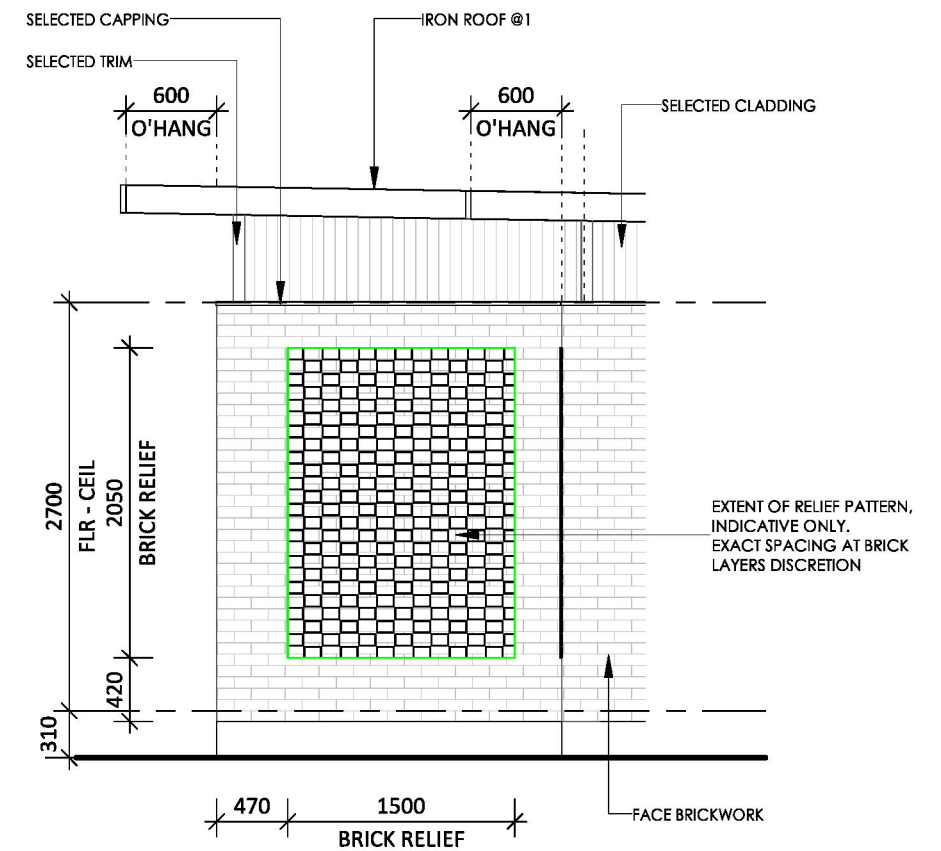
JOB No: 1710 ISSUE: MASTER

SCALE: 1 : 100 SHEET No: 3B TOTAL No: 23



Elevation - A

SCALE: 1 : 50

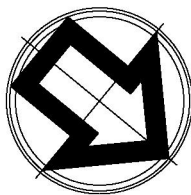


Elevation - D

SCALE: 1 : 50

REV	DESCRIPTION	DRAWN	DATE
001	PRELIMINARY	NHU.VO	01/19/2026
002	CONSTRUCTION	NHU.VO	02/12/2026
003	CONSTRUCTION	NHU.VO	03/23/2026
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C	CONSTRUCTION	THANG.NG	04/28/2026
D	CONSTRUCTION	QUYNH.VO	05/13/2026

NORTH



CLIENT SIGNATURE:

CLIENT SIGNATURE:

BUILDER:

DATE:

DRAWING TITLE:

BRICK RELIEF DETAILS

HOUSE: PAVILION 35 - LH

FACADE: AXIS

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Novara Homes

SIMPLY BEAUTIFUL DESIGN

2 Nexus Court Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320

CLIENT:

ADDRESS: LOT 2, 163 ILLOWA ROAD,

SUBURB: DENNINGTON, VIC 3280

JOB DATE: 01/19/2026 MASTER DATE: 08/29/2024

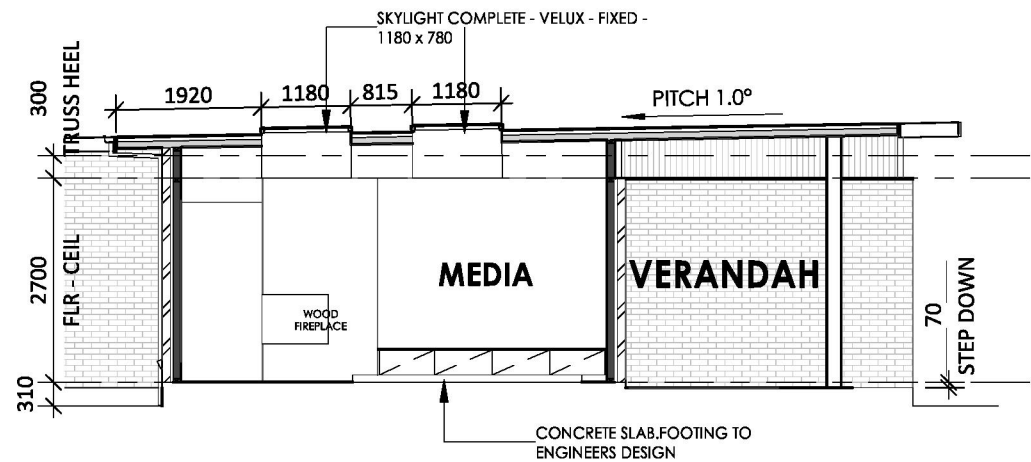
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JOB No: 1710 ISSUE: MASTER

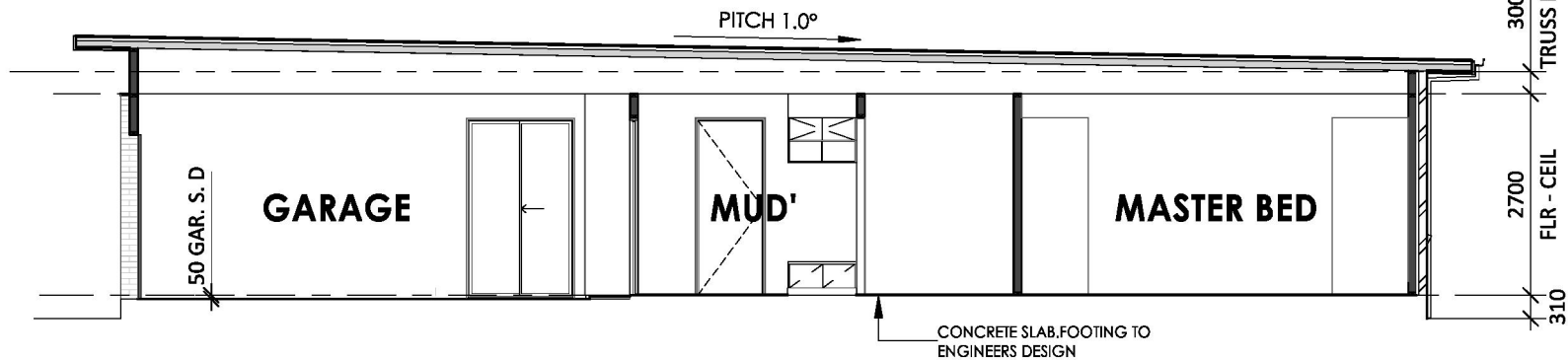
SCALE: 1:50 SHEET No: 3C TOTAL No: 23

NOTE: ALUMINIUM FRAMED
WINDOWS TO FRONT FACADE
(UNLESS NOTED OTHERWISE)

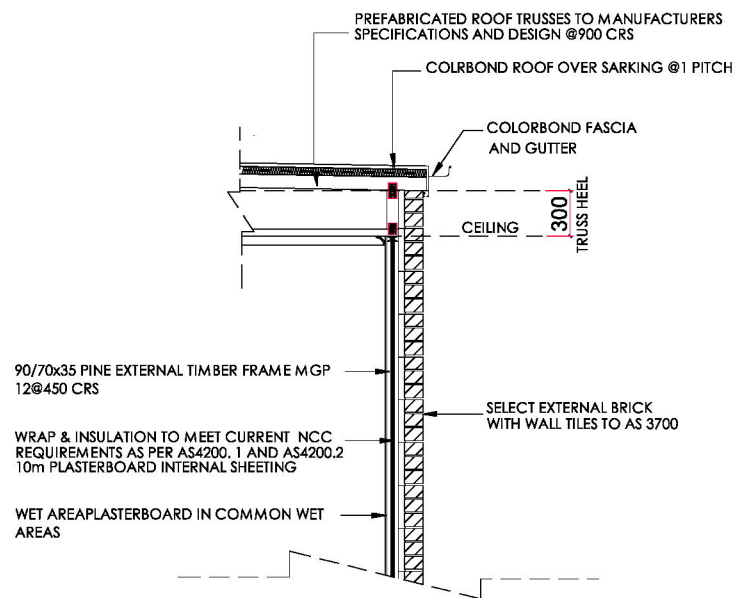
IMPORTANT NOTE:
CONDENSATION MANAGEMENT IN ACCORDANCE
WITH NCC PART 10.8



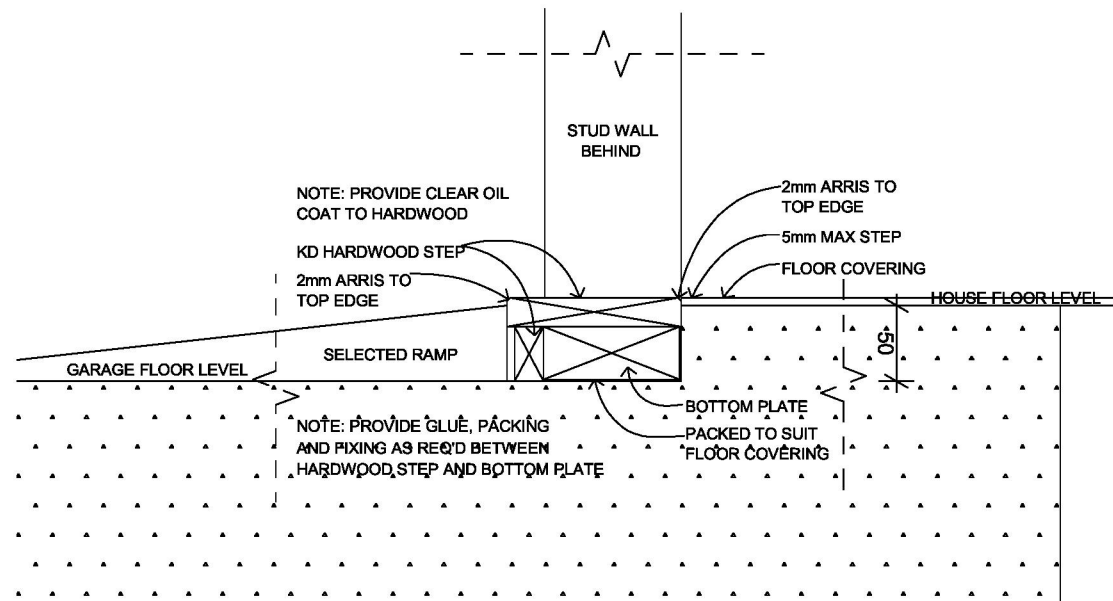
SECTION B
SCALE: 1 : 100



SECTION D
SCALE: 1 : 100



01 - TRUSS HEEL FLAT ROOF
SCALE: 1 : 50



02 - GARAGE DOOR STEP DETAIL
SCALE 1:5

- NOTE:**
1. ALL DIMENSIONS APS IN MILLIMETRES AND SHOULD USED IN PREFERENCE TO SCALED MEASUREMENTS.
 2. ALL LEVELS ARS TO BE VERDON THE SITE BY THE BILDER PRIOR TO COMMENCING.
 3. ALL WET AREAS ARE TO SUITABLY GRADED AND DRAINED.
 4. FLOOR SLAB TO BE DESIGNED BY AN APPROVED STRUCTURAL ENGINEER.
 5. ALL TIMBER SPACING SPANS AND SUSS SHALL COMPLY WITH TImERFRAMING CODS AS1684.
 6. ENSURS STRICT COMPLIANCE WITH THE REQUIREMENTS OF BUILDING CODS OF AUSTRALIAN RELATION TO SIDE BOUNDARY CLEARANCE.
 7. ALL SEWER AND STORMWATER DRAINAGE TO REISSTRICCT ACCORDANCE WITH AUSTRALIAN STANDARDS AS3500.
 8. WET AREAS TO BE FLASHED AT THE INTERSECTION OF THE FLOOR AND WATT AND 1800 HIGH IN THE SHOWER RECESSCORNERS WITH AND APPROVED WET AREA FLASHING AND RE WATERPROOHD AS PER AS3740-2010.
 9. ALL GLAZING TO COMPLY WITHAS 1249-2006.
 10. POWDERCOATED ALUMINUM WINDOWS AND DOORS TORS USED THROUGHOUT, COLOUR SELECTION BY OWNER.
 11. ALL FOINGS , TEOWNS AND CONSTRUCTION METHODS ARE TO INSTRICCT ACCORDANCE WITH THE REQUIREMENTSOF AS 16943-2010 FOR NON - CYCLONIC REGIONS.
 12. TERMITE PROTECTION TO BE IN ACCORADANCE WITHAS 36601-2014 OF HAVE UFT OFF HINGES
 13. WHERE WC PANIS LESS THAN 12WFROM THE WC DOOR THE DOOR SHALL FITHER SLION OPENOUT OR HAVE LIFT OFF HINGES.
 14. ALL STRUCTURAL TImERRAMING SIZESTORS IN ACCORDANCE WITH AS 1544-2006, TIMBER FRAMING CODE or ENGNGHRS STRUCTURAL COMPUTATIONS.

REV	DESCRIPTION	DRAWN	DATE	NORTH	CLIENT SIGNATURE:	DRAWING TITLE:	Novara Homes SIMPLY BEAUTIFUL DESIGN 2 Nexus Court Mulgrave Victoria 3170 T 03 8561 4777 F 03 9561 5320	CLIENT:
001	PRELIMINARY	NHU.VO	01/19/2026			SECTION		
002	CONSTRUCTION	NHU.VO	02/12/2026		CLIENT SIGNATURE:			ADDRESS: LOT 2, 163 ILLOWA ROAD,
003	CONSTRUCTION	NHU.VO	03/23/2026					SUBURB: DENNINGTON, VIC 3280
A	CONSTRUCTION	QUYNH.VO	03/27/2026		BUILDER:	HOUSE: PAVILION 35 - LH		JOB DATE: 01/19/2026 MASTER DATE: 08/29/2024
B	CONSTRUCTION	QUYNH.VO	04/02/2026			FACADE: AXIS		DRAWN: MITEK CHECKED: NOVARA
C	CONSTRUCTION	THANG.NG	04/28/2026		DATE:	THIS WORK IS OWNED BY NOVARA HOMES AND CANNOT BE REPRODUCED OR COPIED, EITHER WHOLLY OR IN PART, IN ANY FORM (GRAPHIC, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING) WITHOUT THE WRITTEN PERMISSION OF NOVARA HOMES PTY LTD. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE. CONFIRM ALL LEVELS AND DIMENSIONS ON SITE BEFORE COMMENCEMENT OF WORKS. © COPYRIGHT 2023		JOB No: 1710 ISSUE: MASTER
D	CONSTRUCTION	QUYNH.VO	05/13/2026					SCALE: 1:100 SHEET No: 04 TOTAL No: 23