

LOCALITY PLAN

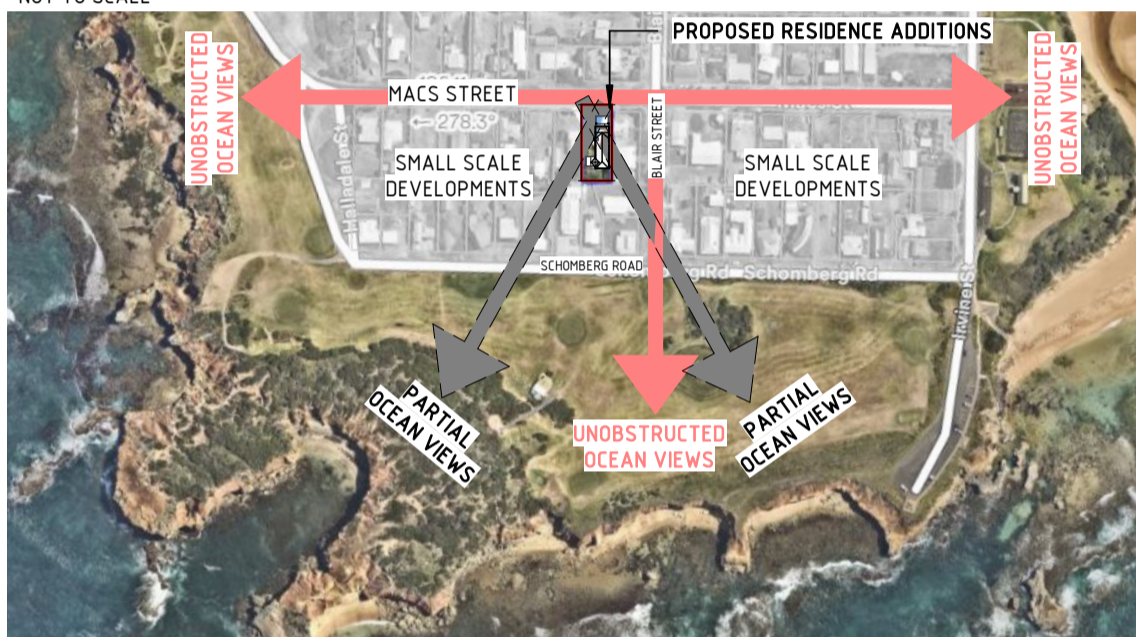
NOT TO SCALE

REFER TO LOCALITY PLAN

NCZ1 - MAP 1 SCHEDULE TO 24 CLAUSE 43.02 REQUIREMENTS APPLY TO NEW WORKS (IN AREA SHOWN DASHED BLUE) AND MAP ABOVE

DESIGN REQUIREMENTS:

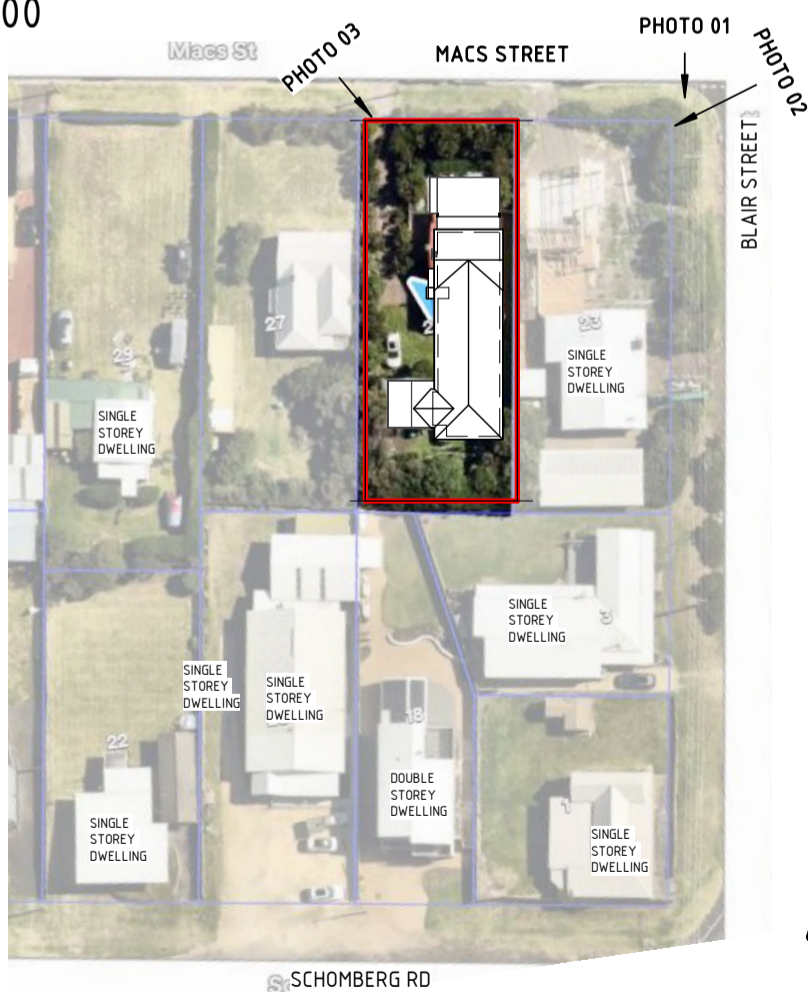
- SMALL SCALE DEVELOPMENT
- MAINTAIN LANDSCAPE HEIGHT AND BUILDING TO NOT BE HIGHER
- NO GARAGE VISIBLE TO FRONTAGE, SET BACK FROM RESIDENCE
- 40% SITE COVERAGE (NOT EXCEED 300 m²), WHICHEVER IS LESSER
- 10M MIN SETBACK OR AVERAGE OF EXISTING NEIGHBOURS SETBACKS, WHICHEVER IS LESSER.
- 3M MIN SIDE SETBACKS
- ALL ACCESS WEATHER DRIVEWAY (NO HARD SEALED SURFACES)
- 8M MAX BUILDING HEIGHT
- 45 % PERMEABLE SURFACES



EXISTING PROTECTED SHARED VIEWS: SOUTHERN OCEAN AND CURDIES RIVER. SHOW VIEWS TO COAST, COASTAL PARK, CURDIES RIVER AND RURAL HINTERLAND

VIEW DIAGRAM

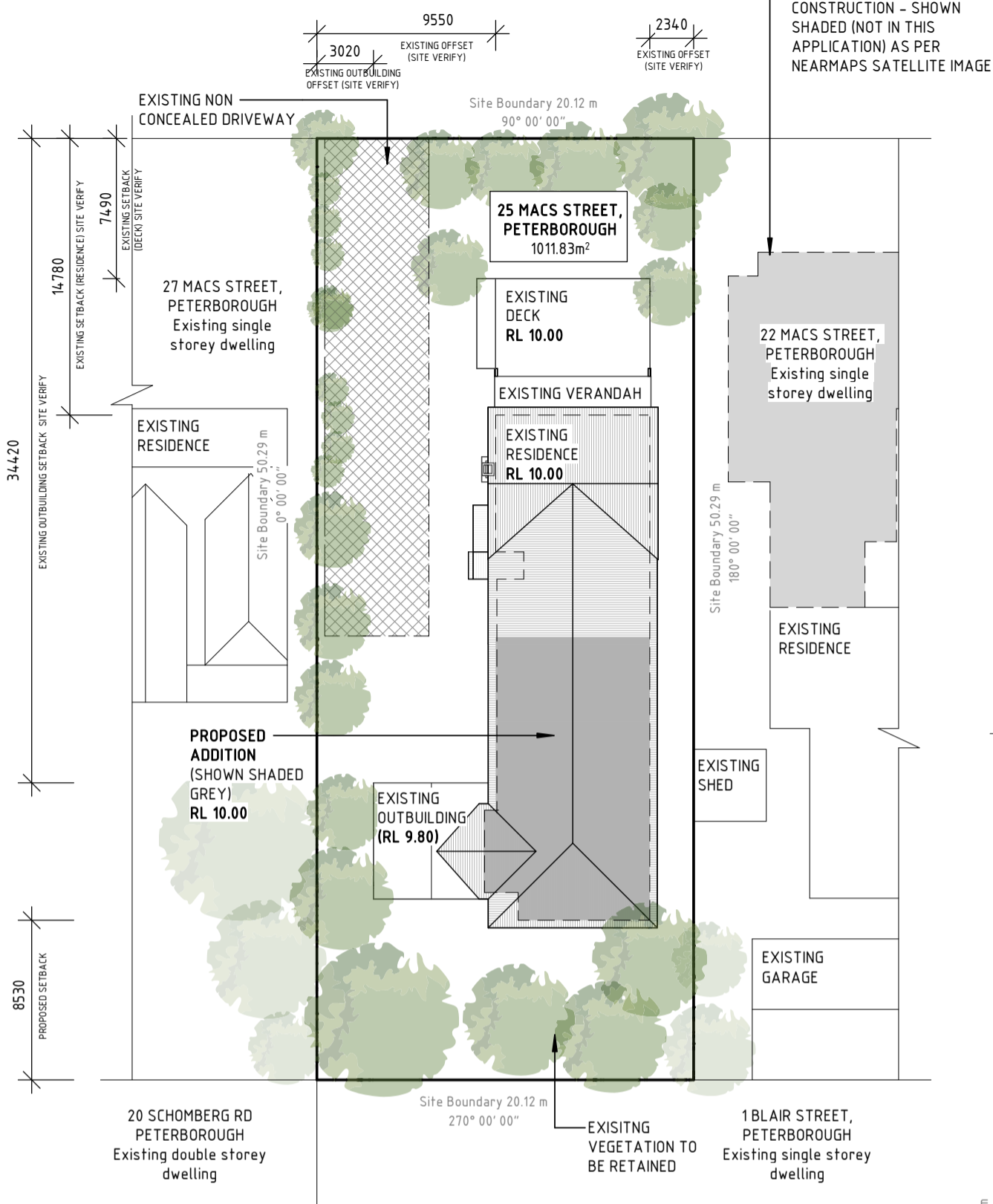
1: 5000



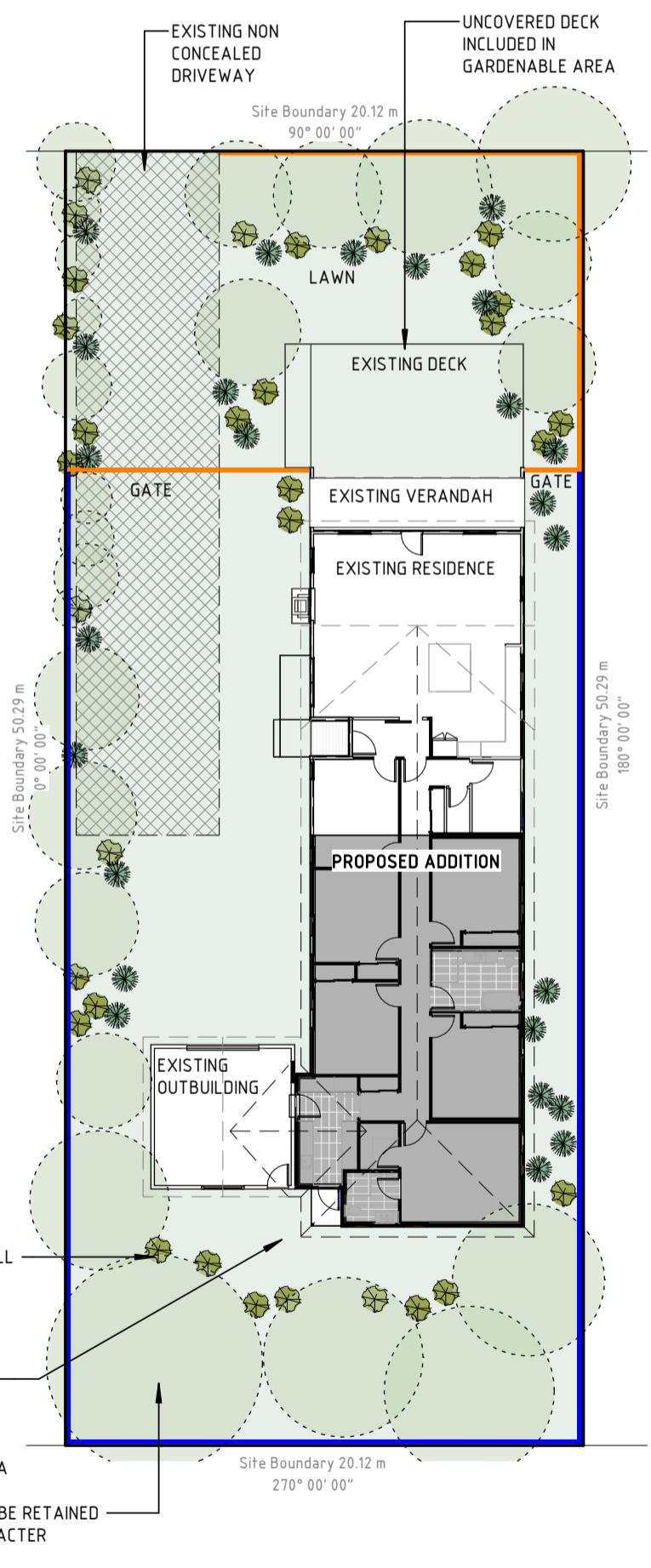
SITE CONTEXTUAL PLAN

1: 1000

MACS STREET



SITE ANALYSIS	
PROJECT ADDRESS:	- 25 MACS STREET, PETERBOROUGH, 3270
SITE AREA:	- 1011.83 m ²
BUILDING CLASSIFICATION:	- CLASS 1a
PLANNING ZONE:	- GENERAL RESIDENTIAL ZONE (GRZ) (GRZ1)
PLANNING OVERLAY:	- DESIGN AND DEVELOPMENT OVERLAY (DDO) (DDO24)
	- ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO) (ESO2)
	- SIGNIFICANT LANDSCAPE OVERLAY (SLO) (SLO2) (SLO3)
SITE COVERAGE:	- BUILDING COVERAGE = 275.05m ²
	= 27.18 % SITE COVERAGE
	- PERMEABLE AREA = 736.78m ²
	= 72.81% SITE COVERAGE
	- GARDEN AREA = 734.89m ²
	= 72.66% SITE COVERAGE
HEIGHT:	- MAX. 4.90m
SETBACKS:	- NORTH = 14.78m (EXISTING)
	- SOUTH = 8.53m
	- EAST = 2.34m (EXISTING)
	- WEST = 9.55m
	- MIN. 300m ²
S.P.O.S.:	
LANDSCAPING:	- REFER TO LANDSCAPING/SITE PLAN
FENCING:	- REFER TO LANDSCAPING/SITE PLAN
FRONTAGE:	- REFER TO NORTH ELEVATION



SITE PLAN

1:300

LANDSCAPING SCHEDULE		
	GREY TUSSOCK GRASS <i>Poa Sieberiana</i> QTY: 25 Tree type: Grass/Shrub	
	COASTAL SALT BUSH <i>Atriplex Cinerea</i> QTY: 20 Tree type: Shrub	
	MYRTLE WATTLE <i>Acacia myrtifolia</i> Tree type: Evergreen shrub/ small tree	

NOTE: MULTIPLE ESTABLISHED CANOPY TREES ARE ALREADY PLANTED ON THE SITE. SHOULD ANY TREE REQUIRE REMOVAL, IT MUST BE REPLACED ON A LIKE-FOR-LIKE BASIS OR WITH MYRTLE WATTLE.

FENCING SCHEDULE	
	PROPOSED 'OPEN' 1800mm HIGH TIMBER PALING FENCE (50% OPENINGS) AS PER 'THE RESIDENTIAL GUIDELINES, PETERBOROUGH'
	EXISTING TIMBER PALING FENCE (1.8m-2.1m) SITE VERIFY HEIGHTS

AREA ANALYSIS		
Name	Area	SQ'S
Proposed Addition	125.87 m ²	13.54
Existing Res.	95.85 m ²	10.31
Exist. Garage	31.05 m ²	3.34
Existing Ver. & Deck	20.11 m ²	2.16
Prop. porch	2.17 m ²	0.23
TOTAL	275.05 m²	

NOTE: PLANTS SELECTED ARE NATIVE COASTAL/INDIGENOUS SPECIES LOCAL TO PETERBOROUGH- CONSISTENT WITH THE LIST IN APPENDIX 2 OF 'THE RESIDENTIAL DESIGN GUIDELINES, PETERBOROUGH, VICTORIA 2006.'

NOTE: THE PROPOSED SMALL SHRUBS ARE INDICATIVE ONLY. THE EXISTING SITE ALREADY CONTAINS SUFFICIENT LANDSCAPING.

GARDENABLE AREA **734.89m²** (EXTENT SHOWN SHADED GREEN) TO 1011.38 m² SITE AREA
72.66% GARDENABLE AREA

EXISTING VEGETATION TO BE RETAINED AS PER LANDSCAPE CHARACTER OBJECTIVES

LANDSCAPING PLAN

1:250

PHOTO 01

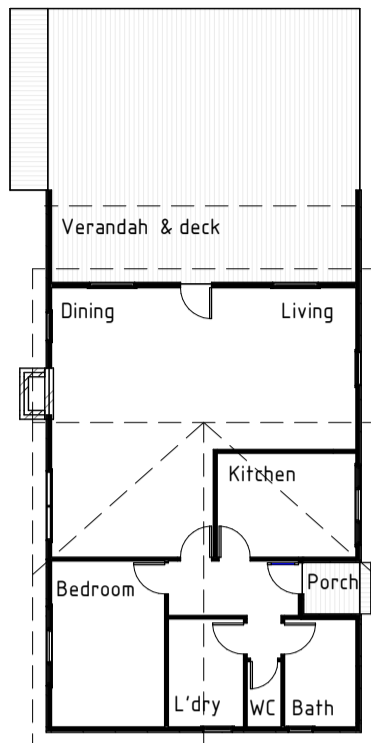
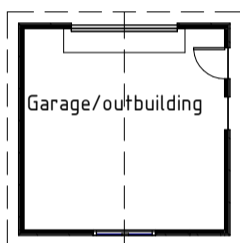


PHOTO 03

PHOTO 02

PHOTO 04



EXISTING CONDITIONS PLAN

1 : 200



EXISTING DOOR TO BE REMOVED AND REPLACED LIKE FOR LIKE SIZE, WITH NEW ALUMIUM FRAME AS SELECTED

ALL EXISTING WINDOWS TO BE REMOVED AND REPLACED LIKE FOR LIKE SIZE, WITH NEW ALUMIUM WINDOWS AS SELECTED

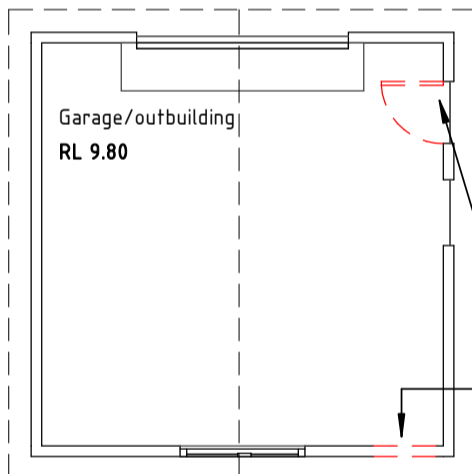
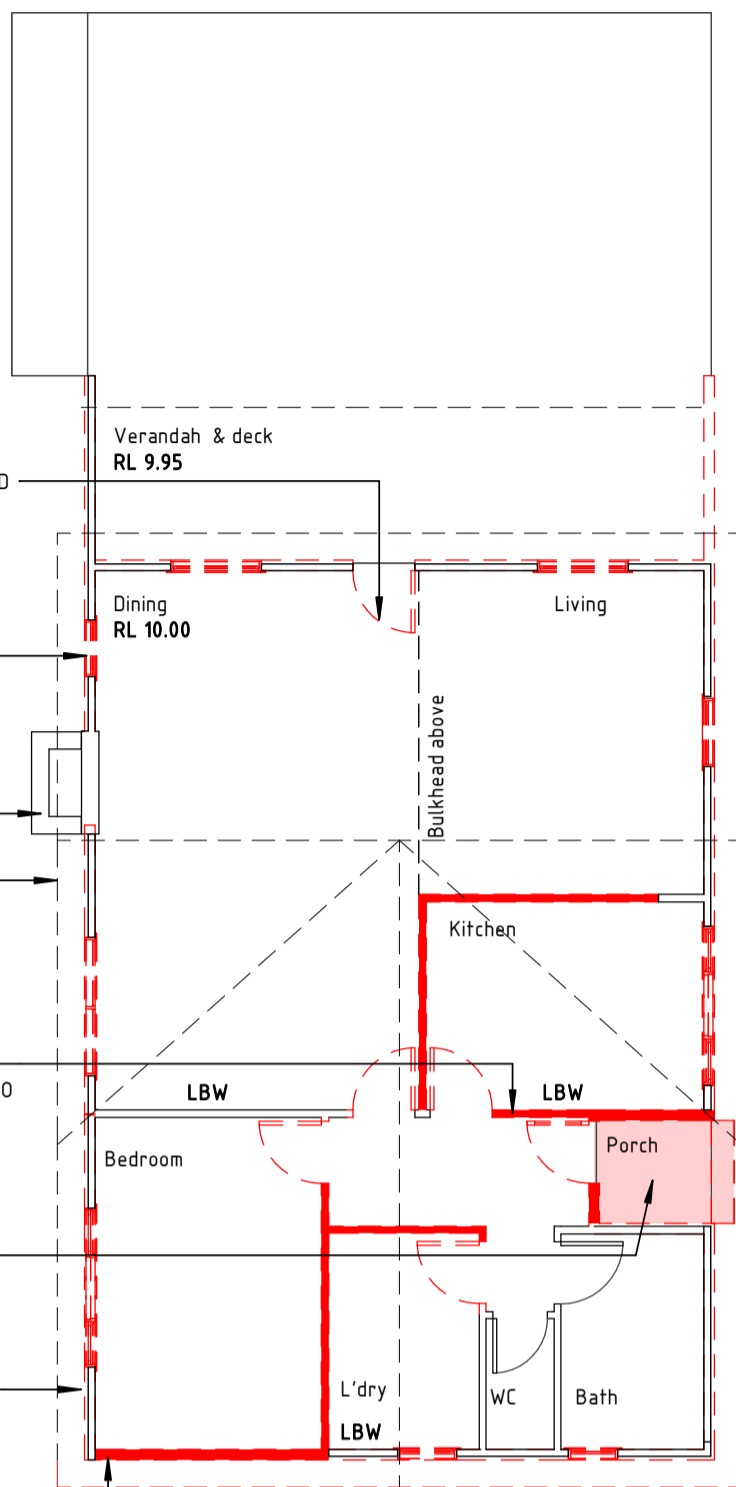
RETAIN EXISTING CHIMNEY

EXISTING ROOF LINES SHOWN DASHED- EXISTING ROOF STRUCTURE TO BE RETAINED AND OLD ROOF SHEETING TO BE REMOVED AND REPLACED WITH NEW

EXISTING INTERNAL LOAD BEARING WALL (SITE VERIFY) TO BE REMOVED. BUILDER TO PROVIDE TEMPORARY PROPS.

REMOVE PORCH IN ITS ENTIRETY (SHOWN SHADED RED FOR EXTENT)

ALL EXISTING EXTERIOR CLADDING TO BE REMOVED, STUD RETAINED, AND PROVIDE NEW CLADDING AS SELECTED



NOTE: GARAGE NOT SHOWN IN CORRECT LOCATION GRAPHICALLY IN RELATION TO EXISTING DWELLING, IT HAS BEEN CROPPED AND MOVED UP FOR CLARITY.

DEMOLITION PLAN

1 : 100

EXISTING EXTERNAL LOAD BEARING WALL (SITE VERIFY) TO BE REMOVED. BUILDER TO PROVIDE TEMPORARY PROPS.

EAVE TO BE DEMOLISHED TO MAKE WAY FOR NEW ROOF CONNECTION

EXISTING DOOR TO BE REMOVED AND PROVIDE NEW SOLIDCORE DOOR AS SELECTED. PREPARE AREA FOR NEW ADDITIONS CONNECTING EXISTING TO NEW

PARTIAL WALL TO BE DEMOLISHED FOR NEW OPENING

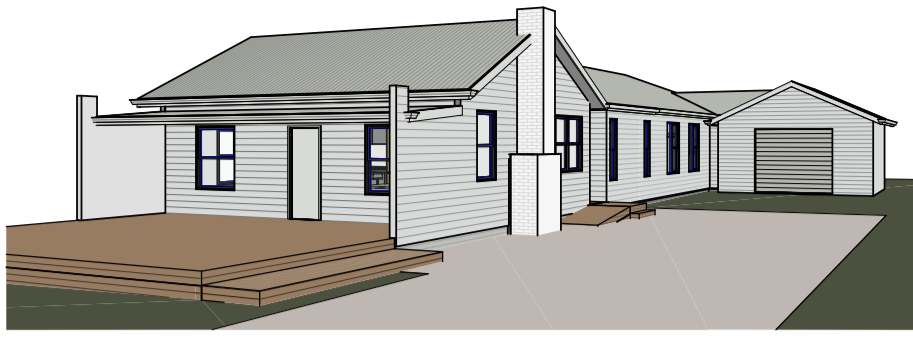


PHOTO 03

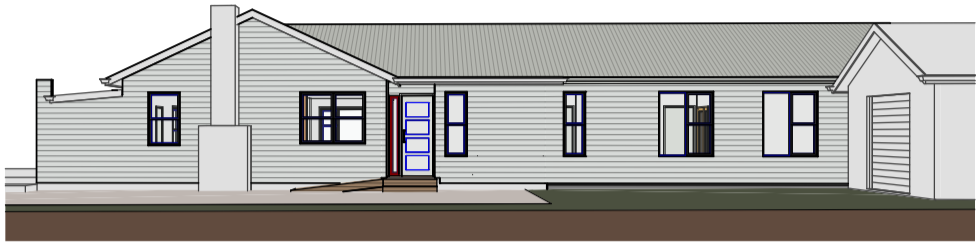


PHOTO 04





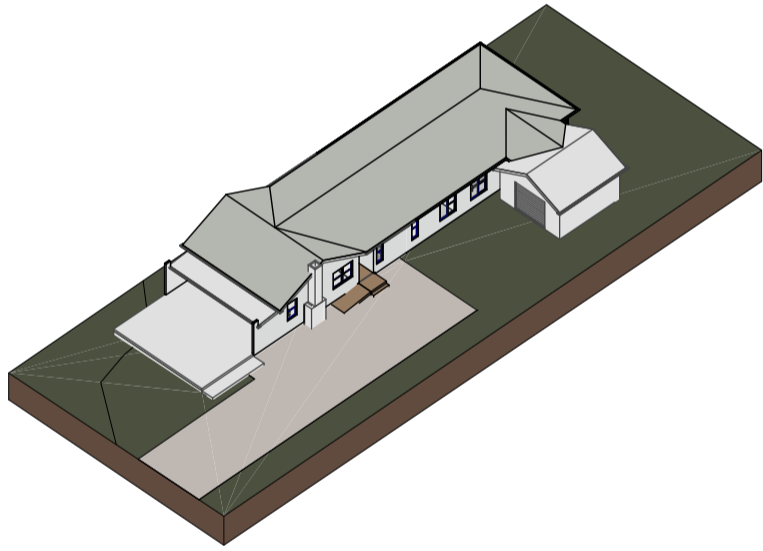
NORTHWEST PERSPECTIVE



WEST PERSPECTIVE



SOUTH PERSPECTIVE

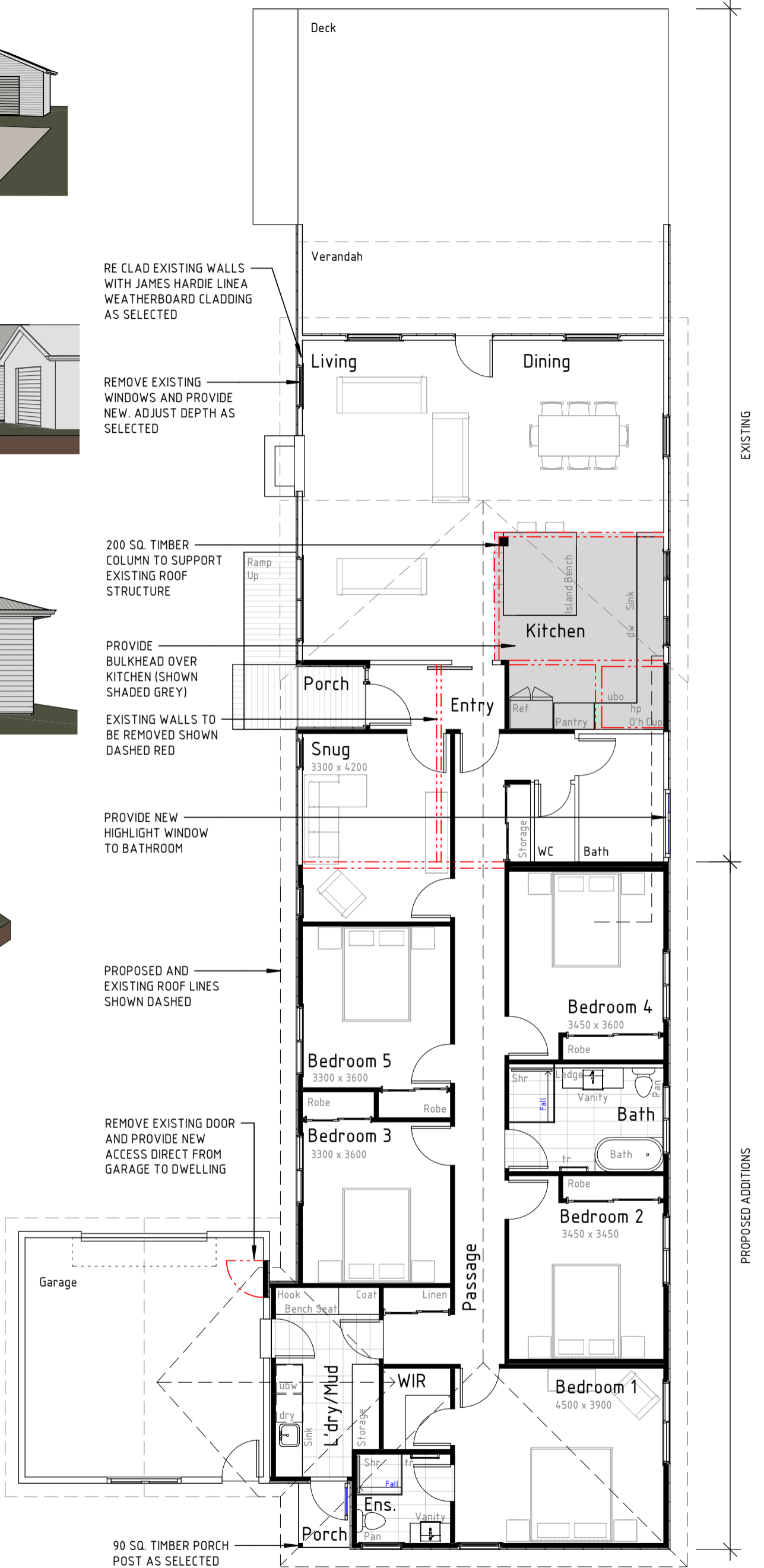


AXONOMETRIC MODEL

LEGEND

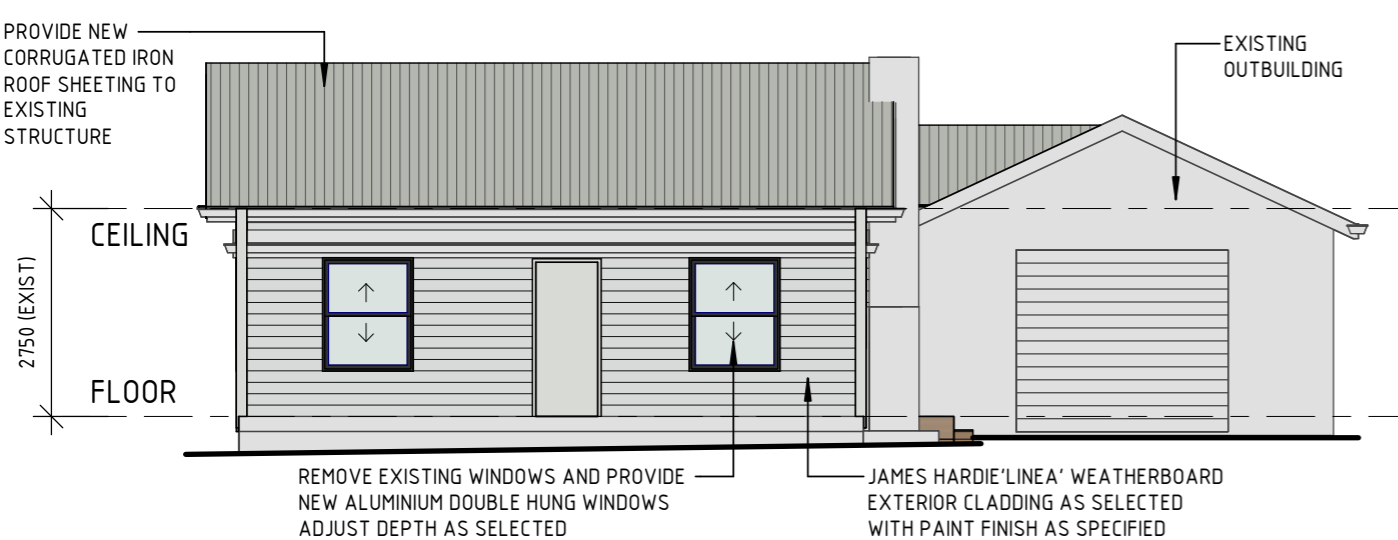
- 90MM STUD WALLS
- EXTERNAL CLADDING ON 90MM STUD WALLS
- EXISTING WALLS TO BE RETAINED
- EXISTING WALLS TO BE REMOVED

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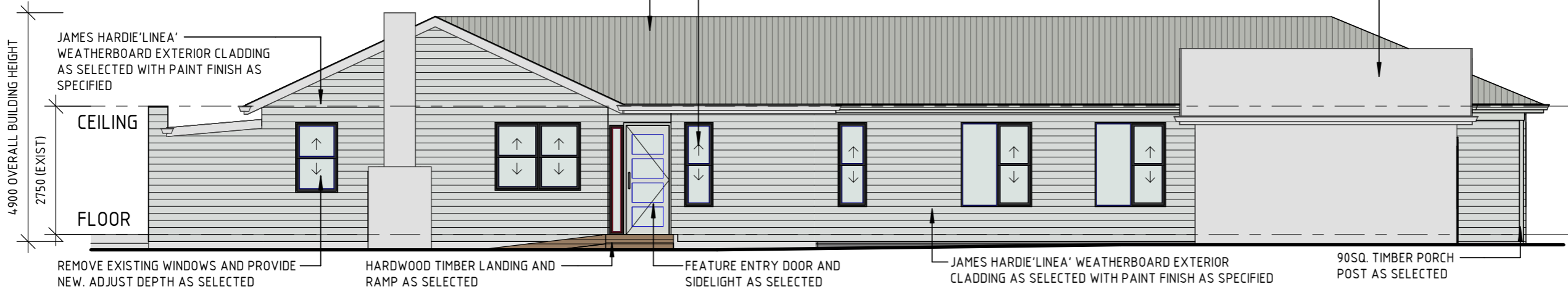
FLOOR PLAN

1 : 100



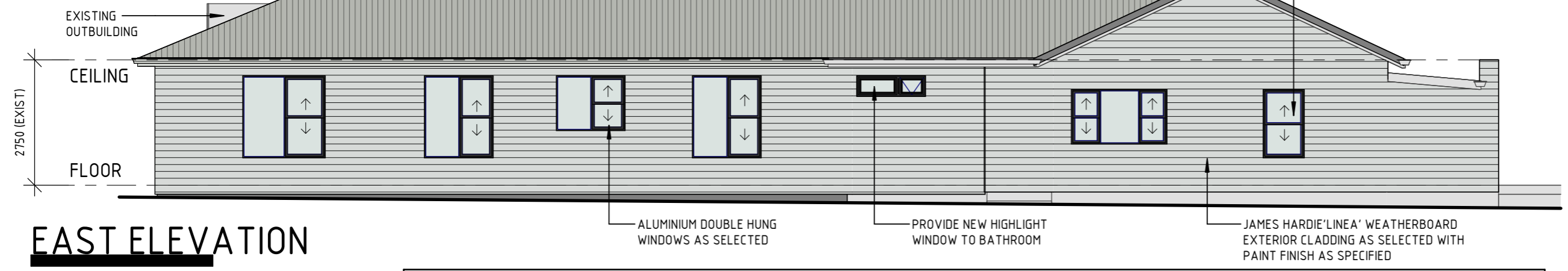
NORTH ELEVATION

1 : 100



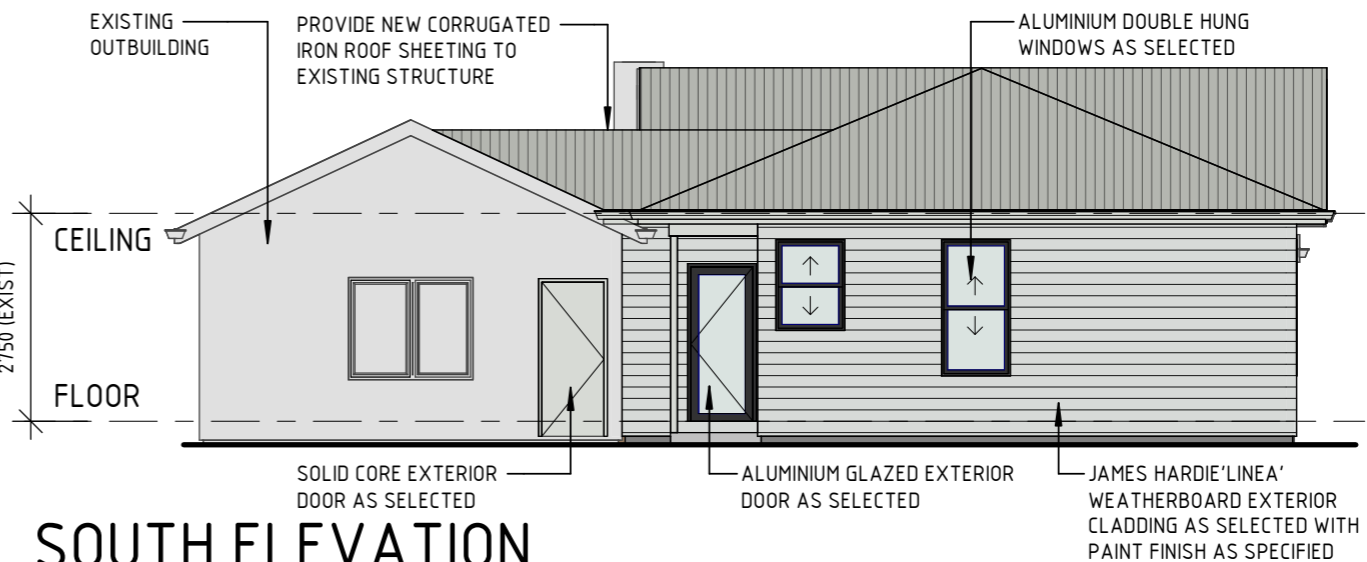
WEST ELEVATION

1 : 100



EAST ELEVATION

1 : 100



SOUTH ELEVATION

1 : 100

MATERIAL SCHEDULE					
SWATCH	DESCRIPTION	SWATCH	DESCRIPTION	SWATCH	DESCRIPTION
	MATERIAL FIBRE CEMENT 'LINEA' HORIZONTAL WEATHERBOARDS	SHALE GREY: COLORBOND	MATERIAL ALUMINIUM FRAMES, CORRUGATED IRON ROOFING, FASCIA, GUTTERS	HARDWOOD NATURAL TIMBER	MATERIAL HARDWOOD NATURAL TIMBER
	APPLICATION ALL NEW & RE-CLADD TO EXISTING EXTERIOR WALLS		APPLICATION WINDOW/DOOR FRAMES, ROOFING, FASCIAS AND GUTTERS		APPLICATION DECK/ RAMP
	COLOUR/ FINISH DULUX 'LEXICON' AS SELECTED		COLOUR/ FINISH DULUX SHALE GREY, POWDERCOATED TO FRAMES		OTHER.. STAINED /PRIMED
	MANUFACTURER JAMES HARDIE		OTHER IF COLOUR IS CHANGED, ENSURE IT IS 'LIGHT AND PALE' AS PER 'RESIDENTIAL DESIGN GUIDELINES, PETERBOROUGH' DOCUMENT		

NOTE: COLOURS SHOWN ARE BASED ON RGB REFERENCE (WHERE APPLICABLE), HOWEVER ARE SHOWN AS INDICATIVE COLOUR PALLETS DUE TO VARYING LIGHT CONDITIONS AND LIMITATIONS OF THE PRINTING PROCESS THAT MAY AFFECT COLOUR TONES. REFER TO MANUFACTURERS SPECIFICATIONS/ SAMPLES FOR EXACT COLOUR MATCH. SPECIFIC MANUFACTURER SELECTED TO BE CONFIRMED BY CLIENT AND BUILDER AS PER THE CONTRACT