

14/03/2026

Dear Planning Team,

Please find attached a planning permit application for 25 Macs Street, Peterborough.
VIC. 3270.

Attached are the following documents;

- Planning Permit Application Form
- Copy of Title
- Planning Assessment Report
- Plans and Elevations

Please contact me on 03 5562 5229 or via nathan@designingspaces.net.au if you have any questions on the above application.

Yours faithfully,

Planning report

25 Macs Street, Peterborough. VIC. 3270.

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ACKNOWLEDGEMENTS

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DOCUMENT CONTROL

This document has been prepared to aid the submission of a planning permit application for 25 Macs Street, Peterborough. VIC. 3270.

PROPOSAL

It is proposed to retain the existing single storey dwelling and to construct a rear extension and link to the existing outbuilding.

The extension will contain a new master bedroom with ensuite, laundry linking to the existing garage, 4 further bedrooms and main bathroom. The existing dwelling interior will be remodelled to include a new kitchen and snug.

Externally the existing dwelling will be reclad in Hardies weatherboards in a painted finish of Dulux 'Lexicon', fitted with new aluminium windows in 'Shale Grey' and reroofed with new corrugated iron roofing also in 'Shale Grey' which will match the exterior of the new extension to tie the exterior appearance together.

The extension will add 125.87 sqm to the existing cottage (95.85 sqm) with the side and rear fences replaced with 1.8m high timber picket fencing at 50% transparency. The extension will match the height of the existing dwelling of 4.9m, and will leave 72% of the 1,011sqm site for garden. There is no significant vegetation for removal to facilitate the works.

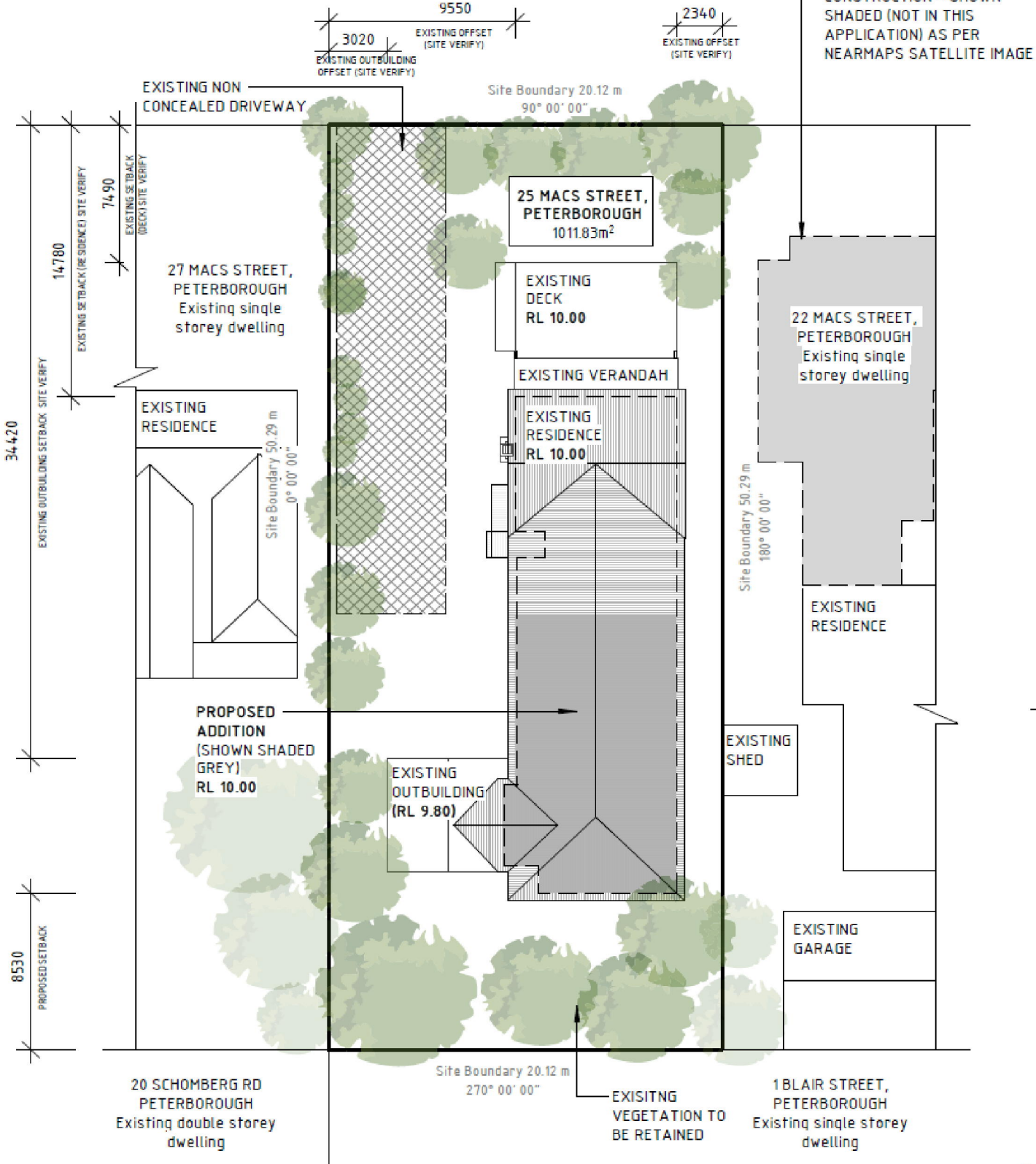


NORTHWEST PERSPECTIVE



WEST PERSPECTIVE

MACS STREET



SITE PLAN

1:300

Boundary 50.29 m

SITE ANALYSIS

The subject site is generally flat and well established extending to 1,011 square metres overall containing a single storied weatherboard dwelling under a corrugated roof covering and with brick chimney stack and garage set back from the frontage. There is a timber deck and vehicular access leading from Macs Street.

The existing dwelling has frontage to Macs Street and is well setback at 14m from the front boundary and 8.3m from the rear. There are dwellings on each abutting allotments.

The prevailing neighbourhood character is mostly single storied residential development, with a blend of established and newer dwellings located a short distance approximately 350m from the Curdies River mouth and approximately 250m to the waters edge of the coastal reserve.

Aerial view



View from Macs Street



Rear elevation



Streetscape along Macs Street looking west



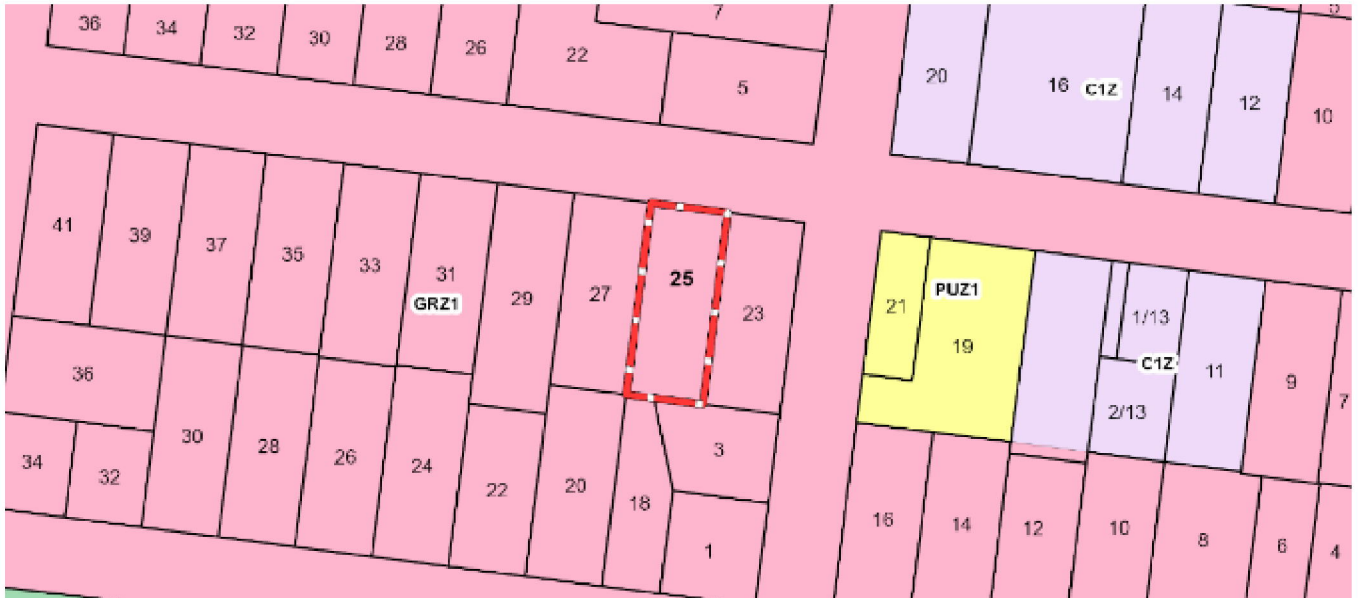
Looking east along Macs Street



PLANNING CONTROLS

Zone

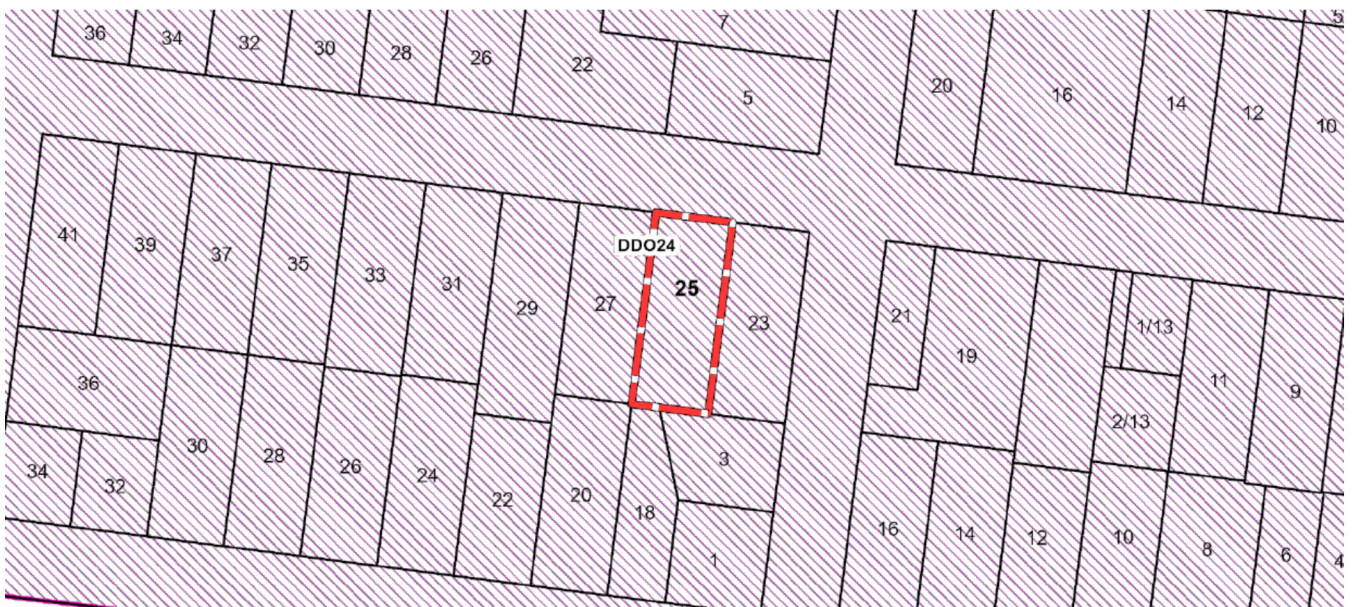
The site is located in the General Residential 1 Zone (GRZ1)



Overlays

The following Overlays apply to the land:

Design and Development Overlay Schedule 24 (DDO24).



Environmental Significance Overlay Schedule2 (ES02).



Significant Landscape Overlay Schedule 2 (SLO2). Significant Landscape Overlay Schedule 3 (SLO3).



The site is also within a Designated Bushfire Prone Area. The site is also within an area of Aboriginal Heritage Significance. A Cultural Heritage Management Plan is not required as the works are associated with a single dwelling and are therefore exempt under the Aboriginal Heritage Regulations 2018.

Permit requirements

No permit is required under the General Residential Zone as the site exceeds 500 square metres with no other triggers.

- A permit is required under the ES02 pursuant to **Clause 42.01-2**
- A permit is required under the SLO2 pursuant to **Clause 42.03-2**
- A permit is also required under the SLO 3 as the site is within 500m of the Bay of Islands pursuant to **Clause 42.03-2**.
- A permit is required under the DDO 24 pursuant to **Clause 43.02-2**

RESTRICTIONS ON TITLE

None.

PLANNING ASSESSMENT

Clause 42.01

ENVIRONMENTAL SIGNIFICANCE OVERLAY

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas where the development of land may be affected by environmental constraints.

To ensure that development is compatible with identified environmental values.

SCHEDULE 2

SCHEDULE 2 TO CLAUSE 42.01 ENVIRONMENTAL SIGNIFICANCE OVERLAY

PETERBOROUGH COASTAL AND ESTUARY AREA

Clause 42.01-5

Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and Planning Policy Framework.*
- *The statement of environmental significance and the environmental objective contained in a schedule to this overlay.*
- *The need to remove, destroy or lop vegetation to create a defensible space to reduce the risk of bushfire to life and property.*

- *Any other matters specified in a schedule to this overlay.*

5.0

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 42.01, in addition to those specified in Clause 42.01 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- *The existing use or development of the land.*
- *The impact of the development on other properties.*
- *The degree of dependence of the development on the coastal environment.*
- *The soil stability of the subject land and the need to prevent soil erosion.*
- *The likelihood of pollution and/or siltation of any watercourse.*
- *The amount of natural vegetation to be removed through the construction of any buildings or works.*
- *Whether adequate provision has been made for the landscaping and treatment of the site.*
- *The value of any native vegetation to be removed in terms of its physical condition, rarity or variety.*
- *The protection and enhancement of the landscape.*
- *The desirability of retaining a buffer strip of native vegetation along roads, watercourses and property boundaries.*
- *The need to protect the environmental values of limestone depressions including avoidance of the draining and filling of limestone depressions.*
- *The desirability of maintaining natural drainage features.*
- *The Peterborough Urban Design Framework, 2002.*

6.0 Background documents

Peterborough Urban Design Framework, 2002.

Siting and Design Guidelines for Structures on the Victorian Coast, 1998.

ASSESSMENT

The proposal is designed to increase the usable floor area of the dwelling and to add a contemporary finish to improve the external appearance, serviceability and to reduce maintenance.

The building is well setback on all sides which allows views over and through the site which protects coastal and environmental views.

There are no anticipated adverse amenity impacts anticipated on surrounding properties as despite the increase in floor area, the overall height of the dwelling remains the

same and setbacks and window placements do not overlook neighbours due to existing fencing and landscaping.

The proposed design respects the scale and pattern of residential development and blends with the prevailing neighbourhood character.

External materials are proposed in muted neutral colours in contemporary materials.

The small-scale nature of the development ensures that the proposed works do not impact views or view lines of adjoining dwellings or the streetscape.

No significant excavation or vegetation removal is required.

The setbacks ensure there no walls on boundaries and to ensure sufficient open space provision, parking and to protect amenity.

No changes to landscaping, or car parking are proposed or required. No changes to front fences are proposed and replacement fencing are 50% transparent in accordance with the Peterborough design guidelines.

The proposal is therefore considered to meet the purpose and decision guidelines of the overlay.

Clause 42.03

SIGNIFICANT LANDSCAPE OVERLAY

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify significant landscapes.

To conserve and enhance the character of significant landscapes.

SCHEDULE 2

SCHEDULE 2 TO CLAUSE 42.03 SIGNIFICANT LANDSCAPE OVERLAY

PETERBOROUGH URBAN COASTAL AREA

Clause 42.03-5

Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The statement of the nature and key elements of the landscape and the landscape character objective contained in a schedule to this overlay.*

- *The conservation and enhancement of the landscape values of the area.*
- *The need to remove, destroy or lop vegetation to create a defensible space to reduce the risk of bushfire to life and property.*
- *The impact of the proposed buildings and works on the landscape due to height, bulk, colour, general appearance or the need to remove vegetation.*
- *The extent to which the buildings and works are designed to enhance or promote the landscape character objectives of the area.*
- *The impact of buildings and works on significant views.*
- *Any other matters specified in a schedule to this overlay.*

5.0

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 42.03, in addition to those specified in Clause 42.03 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

Buildings and works

- *Whether the height of any part of the building, excluding any television antenna, chimney or flue, is less than 8 metres above natural ground level.*
- *Whether the location of an outbuilding normal to a dwelling is behind the front building line of the dwelling.*
- *Whether at least 45 per cent of the site is not covered by buildings or impervious surfaces including driveways, paving, swimming pools or tennis courts.*
- *Whether the external cladding or painting of a building other than for surface finishes is in light or pale colours and tones.*
- *Whether the siting and design of buildings achieves a reasonable sharing of views between properties with significant landscape features having particular regard to the following:*
 - *The impact of the proposed buildings and works on the view from another property as a result of the design, siting, height, size, bulk (including the roof), and colour of the building.*
 - *The opportunity for a reasonable sharing of views having regard to the extent of the available view(s) and the significance of the view(s) from the properties affected.*
 - *Whether the siting of buildings and availability of areas not covered by hard surfaces enables the retention of adequate vegetation and provides sufficient area for the planting of vegetation, particularly coastal native species that contributes to the overall character of Peterborough*

Vegetation

- *Whether the size, species, age and health of existing vegetation proposed to be removed, destroyed or lopped and the size, species and growth characteristics of any proposed replacement vegetation.*

- *The reasons for removing the tree and the practicalities of alternative options that do not require removal of any trees.*
- *The effect of constructing a building or constructing or carrying out works on the root system, canopy and overall appearance of any trees.*
- *The impact of a specified flood level on the overall height of a building.*

All applications

- *The comments of an Urban Design Advisor or Urban Design Panel appointed by Council for any new development and for alterations and additions to existing and new commercial development including tourist accommodation proposed in prominent locations (including sites adjacent to the Great Ocean Road, foreshore and coastal reserves and existing motel and hotel sites).*
- *The Peterborough Urban Design Framework.*

SCHEDULE 3 TO CLAUSE 42.03 SIGNIFICANT LANDSCAPE OVERLAY WESTERN COASTAL CLIFFS LANDSCAPE AREA

5.0

Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 42.03, in addition to those specified in Clause 42.03 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- *Whether the height of a building will have an impact on the landscape.*
- *Whether the external cladding or painting of a building other than for surface finishes is in light or pale colours and tones.*
- *Whether the siting and design of buildings will impact on the significant landscape features having particular regard to the following:*
 - *The impact of the proposed buildings and works on the view from a road or another property as a result of the design, siting, height, size, bulk (including the roof), and colour of the building.*
 - *The siting of buildings and availability of areas not covered by hard surfaces enables the retention of adequate vegetation and provides sufficient area for the planting of vegetation, particularly coastal native species that contributes to the overall landscape character.*
- *Whether the proposal avoids any development on the coastal side of the Great Ocean Road.*
- *Whether the proposal is designed so that development is not visible above the coastal vegetation when viewed from the Great Ocean Road.*
- *Whether the proposal locates all signage on the landward side of the Great Ocean Road.*
- *Whether the proposal avoids bright colours and group signage at particular locations to minimise visual impact on large areas of the landscape and to maintain views.*

- *Whether the proposal responds to the characteristics of the site and utilises low scale building forms, simple building details and avoids dominant bulky buildings or buildings that have no relationship to landform.*
- *Whether the proposal utilises materials and colours that complement those that occur naturally in the hinterland landscape with consideration as to how the materials will weather over time.*
- *Whether the proposal locates and screens large buildings and structures such as sheds, transmission lines and cleared easements etc to minimise visibility from the Great Ocean Road and key viewing locations.*
- *Whether the proposal avoids visually obtrusive infrastructure and provides infrastructure such as power lines and other utility services underground in the coastal area wherever possible.*
- *Whether the proposal sites development sparsely in coastal areas minimising visibility from the Great Ocean Road and maximising the retention of coastal vegetation.*
- *Whether the proposal avoids the loss of views to geological features.*
- *The size, species, age and health of existing vegetation proposed to be removed, destroyed or lopped and the size, species and growth characteristics of any proposed replacement vegetation.*
- *Whether the removal of vegetation is justified and the practicalities of alternative options that do not require removal of vegetation.*
- *Whether the construction of a building or construction or carrying out of works will impact on the root system, canopy and overall appearance of any vegetation.*
- *Whether the proposal avoids the loss of indigenous coastal vegetation.*
- *Whether the proposal retains existing indigenous and native trees and understorey wherever possible and provides for the planting of new indigenous vegetation, particularly around landscape features such as creek valleys.*
- *Whether the proposal replaces any trees lost due to development with indigenous trees that will grow to a similar size.*
- *Whether the proposal retains existing shelter belts wherever possible.*
- *Whether the proposal replaces lost shelter belt trees with the same species or an alternative species, suitable to the local area.*

ASSESSMENT

The building when extended will occupy less than 45% of the site and will stand at less than 8m in height.

As discussed, the proposed works are associated with the external appearance of the dwelling and do not significantly increase the building footprint or substantially increase the height of the dwelling. The dwelling does not impact on views of sensitive areas such as the coastline, Bay of Islands or Curdies River mouth.

Muted colour tones are proposed to suit the local coastal vernacular and streetscape.

There is no vegetation removal or excavation required with existing landscaping, access, fencing etc remaining unchanged.

Clause 43.02
DESIGN AND DEVELOPMENT OVERLAY
Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas which are affected by specific requirements relating to the design and built form of new development.

Clause 43.02-6
Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The design objectives of the relevant schedule to this overlay.*
- *The provisions of any relevant policies and urban design guidelines.*
- *Whether the bulk, location and appearance of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *Whether the design, form, layout, proportion and scale of any proposed buildings and works is compatible with the period, style, form, proportion, and scale of any identified heritage places surrounding the site.*
- *Whether any proposed landscaping or removal of vegetation will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *The layout and appearance of areas set aside for car parking, access and egress, loading and unloading and the location of any proposed off street car parking*
- *Whether subdivision will result in development which is not in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *Any other matters specified in a schedule to this overlay.*

SCHEDULE 24 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY
PETERBOROUGH RESIDENTIAL AREA

6.0
Decision guidelines

The following decision guidelines apply to an application for a permit under Clause 43.02, in addition to those specified in Clause 43.02 and elsewhere in the scheme which must be considered, as appropriate, by the responsible authority:

- *Whether any subdivision adopts the traditional grid pattern of the street layout.*
- *Whether there are appropriate setbacks between buildings to provide spaces and views between and from buildings.*

- *Whether the siting and design of buildings, works and subdivision is consistent with the objectives and the strategies of the Residential Design Guidelines, Peterborough, Victoria 2006.*
- *Whether a building dominates the natural landscape.*
- *Whether the bulk of a building dominates the townscape.*

ASSESSMENT

The proposed works are consistent with the existing and preferred character of the streetscape and area as defined by the Residential Design Guidelines Peterborough.

The proposal enhances the external appearance of the dwelling without impacting on amenity, the environment or sensitive landscapes.

Colours and materials selected compliment the coastal area.

MUNICIPAL STRATEGIC STATEMENT

Clause 02.03-2

03/11/2023

C70moyn

Environmental and landscape values

Coastal areas

The coastal areas of the municipality are an important biodiversity, recreation and economic asset. There is a need to protect and manage the coast in an environmentally sustainable manner. This includes ensuring that development on the coast recognises the sensitive nature of these assets.

Water bodies and wetlands

The rivers and streams that flow through the Shire divide it into a series of watersheds. They comprise the Mt Emu Creek, Hopkins River, Merri River, Moyne River, Shaw River, and Eumeralla River. Most of the land adjacent to watercourses is in private ownership due to the Shire's early settlement.

Significant environments and landscapes

The natural landscape of the municipality is an important asset that requires protection from inappropriate use and development. The visual and environmental implications of

development on the municipality's natural features can destroy the attractiveness and environmental qualities of the area.

Volcanic eruptions formed a series of craters in the region, including the volcanic crater in the Tower Hill State Game Reserve, the volcanic crater and lava landscapes in the Budj Bim National Park, Mount Shadwell and the Peak volcanic crater. The Tower Hill volcanic crater and environs are major natural features of geological, ecological and landscape significance.

The World Heritage listed Budj Bim Cultural Landscape contains one of the world's most extensive and oldest aquaculture systems, developed by the Gunditjmara people. The Budj Bim lava flows provide the basis for this complex aquaculture system, based on deliberate redirection, modification and management of waterways and wetlands.

Other significant natural features include the hilltops and ridgelines, areas of native forest, and various water bodies, wetlands and grasslands.

Development pressures affecting the landscape include wind farms, natural gas pipelines and processing plants, and telecommunication and electricity towers.

Rural residential and small lot development beyond settlements and close to scenic locations such as Tower Hill is causing impacts on landscape quality.

Strategic directions

- *Protect significant landscapes and natural environments, including the World Heritage listed Budj Bim Cultural Landscape.*
- *Protect areas of remnant native vegetation, particularly along roadsides and on freehold land, recognising the ecological and economic value.*
- *Facilitate effective open space and habitat corridors along river and coastal areas.*
- *Protect and enhance land that supports ecological communities hosting native flora and fauna.*
- *Promote greater revegetation and the management of pest plants and animals to address areas of degraded land.*
- *Manage land use and development to minimise impacts on coastal and river environments.*
- *Protect and enhance the environmental qualities and character of the Budj Bim National Park and Tower Hill State Game Reserve.*
- *Protect volcanic features, prominent hilltops and ridgelines from inappropriate development.*
- *Protect and enhance significant environmental values, remnant vegetation and riparian corridors within settlements.*

ASSESSMENT

The proposed works are small scale associated with a single existing dwelling in an established location. The works are in keeping with the scale, bulk and mass of the existing dwelling and will utilise external materials and colours to blend with the character of the area.

Clause 12.02-1L-02
27/07/2023
C74moyn

Coastal landscapes

Policy application

This policy applies to the development of land affected by the Significant Landscape Overlay Schedules 3, 4, 5 and 6.

Objective

To maintain locally significant views and vistas that contribute to the character of the coastal and coastal hinterland region.

Strategies

Built form

Encourage development that is subordinate to the natural, visual and environmental landscape character and significance.

Vegetation

Encourage retention of indigenous trees and where their removal is unavoidable replace with indigenous trees that will grow to a similar size.

Use indigenous species or non-invasive native / exotic plantings that are already a feature of the area for landscaping around developments.

Retain existing shelterbelts and exotic feature planting where it is a feature of the area and replace shelterbelts or exotic feature plantings that are lost, old, degraded or incomplete with the same species or an alternative non-invasive species.

Protect and enhance indigenous vegetation on hillsides in the west and north of the Significant Landscape Overlay Schedule 4 - Lake Yambuk to Port Fairy Coast Landscape Area in corridors that link to or are adjacent to waterbodies such as Lake Yambuk and the Fitzroy River Outlet.

Ensure that indigenous coastal vegetation in the Significant Landscape Overlay Schedule 4 - Lake Yambuk to Port Fairy Coast Landscape Area is the dominant feature of the coastal landscape.

Coastal edges of settlements

*Support a hierarchy of built form within coastal settlements, with lower buildings adjacent to the foreshore and higher buildings away from the foreshore.
Prevent overshadowing of the public foreshore of settlements.*

ASSESSMENT

The proposed extension is consistent with the intent of the policy as the extension is a continuation of built form on a generous allotment which does not obscure vistas or impact the scenic visual attributes of the area.

There is no significant vegetation for removal.

SUMMARY

The proposed works are an improvement to the existing dwelling to increase the floor area and improve the external appearance and contribution to the streetscape. There are no anticipated adverse amenity impacts as the updated dwelling is of a modest size and height, does not adversely affect views or coastal scenery or the amenity of neighbours.

The proposal has been assessed against the relevant planning provisions including the PPF, MPS, Zone and Design Development Overlay Schedule 24, ES02, SL02 and 3 and found to meet the relevant objectives and decision guidelines.

It is respectfully requested that a permit be issued by the Responsible Authority in its current form.