

welcome home.

> [bryanpetersen.com.au](http://bryanpetersen.com.au)



## PROPOSED RESIDENCE

Site Address:

LOT 26 SUTLEJ COURT, PETERBOROUGH

Date:

08-01-2026

### OWNER/S FINAL APPROVAL

I/We accept these plans are as per our requests and can be used as the final set to construct our home.

I understand that any variations requested after this final set is processed will incur a re-drafting/administration fee.

SIGNATURE/S

.....  
OWNER

.....  
OWNER

### BRYAN & PETERSEN QUALITY BUILDERS

Address: 170 KOROIT STREET, WARRNAMBOOL, VIC 3280

Phone: (03) 55614978

Email: [reception@bphomes.com.au](mailto:reception@bphomes.com.au)

Website: [www.bryanpetersen.com.au](http://www.bryanpetersen.com.au)

DBU: CDBU51410









PLANNING ONLY





# BRYAN AND PETERSEN HOMES

## FLOOR PLAN LEGEND

	ARTICULATION JOINTS
	EXTERNAL TAP
	CAPPED GAS POINT
	SMOKE DETECTOR
	DENOTES DOUBLE GLAZING
	DOOR WIDTH & TYPE F = FLUSH PANEL DOOR P = MOLDED PANEL DOOR ALL DOORS 2040mm HIGH UNLESS MARKED WITH A 2340mm HIGH.
	DOWNPIPE
	SPREADER
OHC	OVERHEAD CUPBOARDS
MW	MICROWAVE CAVITY
D/W	DISHWASHER
R/H	RANGEHOOD
CAN	CANOPY
W/O	WALL OVEN
FR	FRIDGE SPACE
VAN	VANITY
T/R	TOWEL RAIL / RING
T/H	TOILET ROLL HOLDER
TR	TROUGH
P	PAN
Br.	BROOM CUPBOARD
P/H	PLASTER HAMPER
B/H	PLASTER BULKHEAD

1. GENERAL NOTES
- 1.1 WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE
- 1.2 WORK PRACTICES AND MATERIALS USED SHALL COMPLY TO LOCAL COUNCIL REGULATIONS, THE 'BUILDING CODE OF AUSTRALIA' AND ANY RELEVANT CODES REFERRED TO IN THE NCC2022
- 1.3 THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL AND/OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS RELATING TO THIS PROJECT
- 1.4 ALL INTERNAL WALLS SHALL BE 90mm UNLESS OTHERWISE STATED, ALL EXTERNAL WALLS SHALL BE 250mm UNLESS OTHERWISE STATED
- 1.5 LOCATION OF MANHOLES TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONJUNCTION TO PLACEMENT OF CENTRAL HEATING UNIT
- 1.6 WATERPROOF WET AREAS AS PER AS3740 & NCC 10.2
- 1.7 INSTALL TERMITE BARRIERS AS PER AS 3660.1-2000 & NNC
2. SLAB & FOOTINGS
- 2.1 SOIL CLASSIFICATION AS PER SOIL REPORT IS CLASS: 'H1' - N3
- 2.2 CONCRETE FOOTINGS AND SLAB SHALL BE LAID IN ACCORDANCE WITH THE ENGINEERS DESIGN SPECIFICATIONS, AS2870-2011 & NCC, AS APPLICABLE
- 2.3 FOOTING DIMENSIONS AND REINFORCEMENTS SHOWN ARE MINIMUM REQUIREMENTS
- 2.4 FOOTINGS SHALL NOT ENCROACH TITLE BOUNDARIES AND EASEMENT LINES
- 2.5 THE OWNERS ATTENTION IS DRAWN TO APPENDIX 'A' OF AS2870 "PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE"
3. CARPENTRY
- 3.1 ALL FRAMING IS FACTORY FABRICATED USING 90mm F5 PINUS, MADE AND INSTALLED TO MANUFACTURERS SPECIFICATIONS, THE NCC 2022, A.S 1684 AND LOCAL COUNCIL REGULATIONS
- 3.2 ALL ROOF TRUSSES ARE FACTORY FABRICATED USING F5 PINUS, MADE AND INSTALLED TO MANUFACTURERS SPECIFICATIONS, NCC PART 3.4.3 AND LOCAL COUNCIL REGULATIONS
- 3.3 BRACING AND TIE-DOWN REQUIREMENTS SHALL BE IN ACCORDANCE WITH FRAMING AND TRUSS MANUFACTURERS RECOMMENDATIONS AND CURRENT BUILDING REGULATIONS
4. BRICKWORK
- 4.1 ALL MASONARY WORK SHALL BE IN ACCORDANCE WITH THE NCC, AS.4773.1, AS.4773.2 + AS3700
- 4.2 A CONTINUOUS DAMP COURSE SHALL BE LAID THROUGH THE FULL THICKNESS OF THE BASE STRUCTURE WITH A COURSE OF WEEP HOLES AT 1200mm CENTERS IMMEDIATELY ABOVE DAMP COURSE
- NOTE: ISOLATED PIERS SUPPORTING SHEET ROOFS MUST HAVE — (A) A BUILT -IN 32 X 0.8 MM GALVANISED STEEL STRAP FIXED TO THE ROOF STRUCTURE EXTENDING THE FULL HEIGHT OF THE PIER WHICH IS LOOPED AND FIXED AROUND A 4.6 GRADE 16 MM DIAMETER GALVANISED STEEL ROD CAST INTO THE FOOTING WHEN POURED;
- OR
- (B) A 4.6 GRADE M16 GALVANISED STEEL ROD CAST INTO THE FOOTING, THREADED AT THE TOP AND EXTENDING THE FULL HEIGHT OF THE PIER TO CONNECT TO THE ROOF STRUCTURE.
5. WALL CLADDING
- 5.1 ALL OTHER WALL CLADDINGS TO BE INSTALLED TO THE NCC PART 3.5.3/3.5.4, MANUFACTURERS SPECIFICATIONS AND LOCAL COUNCIL REGULATIONS
6. ROOFING
- 6.1 ROOFING MATERIALS ARE TO COMPLY TO LOCAL COUNCIL REGULATIONS AND ANY COVENANTS IMPOSED BY LAND DEVELOPERS & ROOF CLADDING SHALL BE INSTALLED TO MANUFACTURERS RECOMMENDATIONS AND THE NCC VOL 2 PART 3.5.1 , ROOFING VENTILATION TO COMPLY WITH NCC BCA VOL2 PART 3.8.7.4
7. ROOF PLUMBING
- 7.1 ALL ROOF PLUMBING SHALL BE INSTALLED TO THE NCC VOL 2 PART 3.5.2 AND LOCAL COUNCIL REQUIREMENTS
- 7.2 ROOF PLUMBING SHALL BE COLORBOND FASCIA, COLORBOND 100mm QUAD GUTTERS WITH (PAINTED) ZINCALUME 100mm x 50mm RECTANGULAR DOWNPIPES AS PER AS3500 WITH OVERFLOW PROVISIONS
8. GLAZING
- 8.1 ALL GLAZING SHALL MEET THE REQUIREMENTS OF THE NCC - & AS1288-2006/AS2047 INCLUDING MOTIFS TO GLAZING PANELS AS1288, GLASS BALUSTRADES IN ACCORDANCE WITH AS1288 AND NCC VOL2 2019 PART 3.9.2
9. PLUMBING (AS3500 & Volume Three - NCC)
- 9.1 ALL PLUMBING WORK SHALL BE CARRIED OUT BY A LICENSED AND/OR REGISTERED PLUMBER
- 9.2 WATER SERVICE SHALL BE 19mm POLYBUTYLENE OR COPPER PIPING 9.3 WASTE FROM ALL SANITARY FITTINGS SHALL BE IN PVC PIPING
10. ELECTRICAL
- 10.1 ALL ELECTRICAL WORK SHALL BE CARRIED OUT BY A LICENSED ELECTRICAL CONTRACTOR
- 10.2 A WATER-PROOF STEEL METERBOX SHALL BE INSTALLED AT APPROX. 1900mm ABOVE FINISHED GROUND LEVEL CONTAINING METERS AND SWITCHBOARD WITH PROVISION FOR TWO (2) ADDITIONAL CIRCUITS
- 10.3 SMOKE DETECTORS SHALL BE ADEQUATELY INSTALLED TO COMPLY TO THE NCC Part 3.7.2, AND LOCAL COUNCIL REQUIREMENTS
11. PLASTER
- 11.1 CEILINGS TO HAVE 10mm 'SUPA-CEIL' PLASTER SHEETS, WALLS TO HAVE 10mm PLASTER SHEETS, (CORNICE SUPPLIED AS PER SPECIFICATION) ALL AFFIXED TO MANUFACTURERS RECOMMENDATIONS
- 11.2 ALL PLASTER HAMPERS AND BULKHEADS TO BE 300mm DEEP UNLESS OTHERWISE SPECIFIED
12. INSULATION
- 12.1 INSULATION TO HOME SHALL BE AS FOLLOWS:- REFER TO SECTION DETAILS
- 12.2 ANY SARKING TO BE INSTALLED MUST HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5.0

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Website: www.bryanpetersen.com.au  
DBU: CDBU51410

### PROPOSED RESIDENCE

Client:  
  
Site Address:  
LOT 26 SUTLEJ COURT, PETERBOROUGH

House Title: CUSTOM  
Specification: LIFESTYLE 25  
Project ID:  
Project Status: PLANNING ONLY  
Drawn Date: 18-02-2025

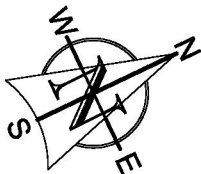
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Authorised by:  
Consultant: A FENTON  
Revised Date: 08-01-2026

Drawing Title:  
**GENERAL NOTES**  
Drawing Scale:

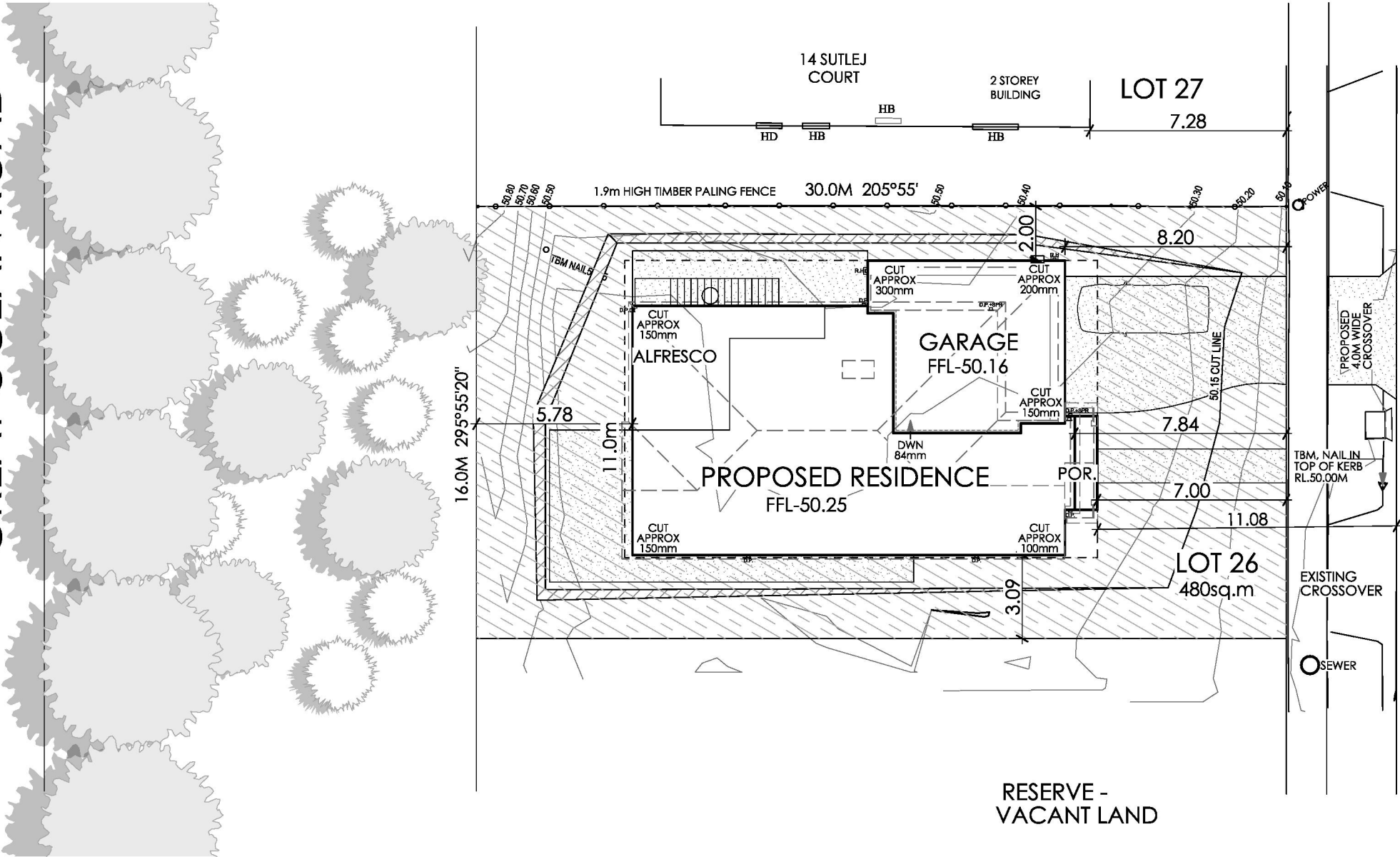
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INFORMATION REQUIRED:

- SWD POINT LOCATION
- FLOOR JOIST LAYOUT + LINTELS
- ROOF VENTING LOCATIONS
- BAL 40 REQ./ WATER TANKS




GREAT OCEAN ROAD




13


NO.16 SUTLEJ COURT



DENOTES BUILDING ENVELOPE



DENOTES CUT



DENOTES FILL



DENOTES EXPOSED AGGREGATE CONCRETE

AREA (sqm)

DENOTES CONCRETE	AREA (sqm)
CROSSOVER	10.59
DRIVEWAY	37.80
PATH	8.82
PATH	17.67
PATH	27.69



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Checked by:  
Authorised by:  
Consultant: A FENTON  
Revised Date: 08-01-2026

Drawing Title:  
SITE PLAN  
Drawing Scale:  
1:200

Drawing No. 3  
Sheet Size: A3

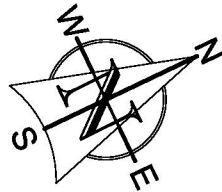


ALL INTERNAL DOORS 2040mm HIGH **FLUSH PANEL**  
UNLESS MARKED WITH α 2340mm HIGH.

NOTE: ALL INTERNAL CAVITY SLIDING  
DOORS TO BE FULLY CONCEALED

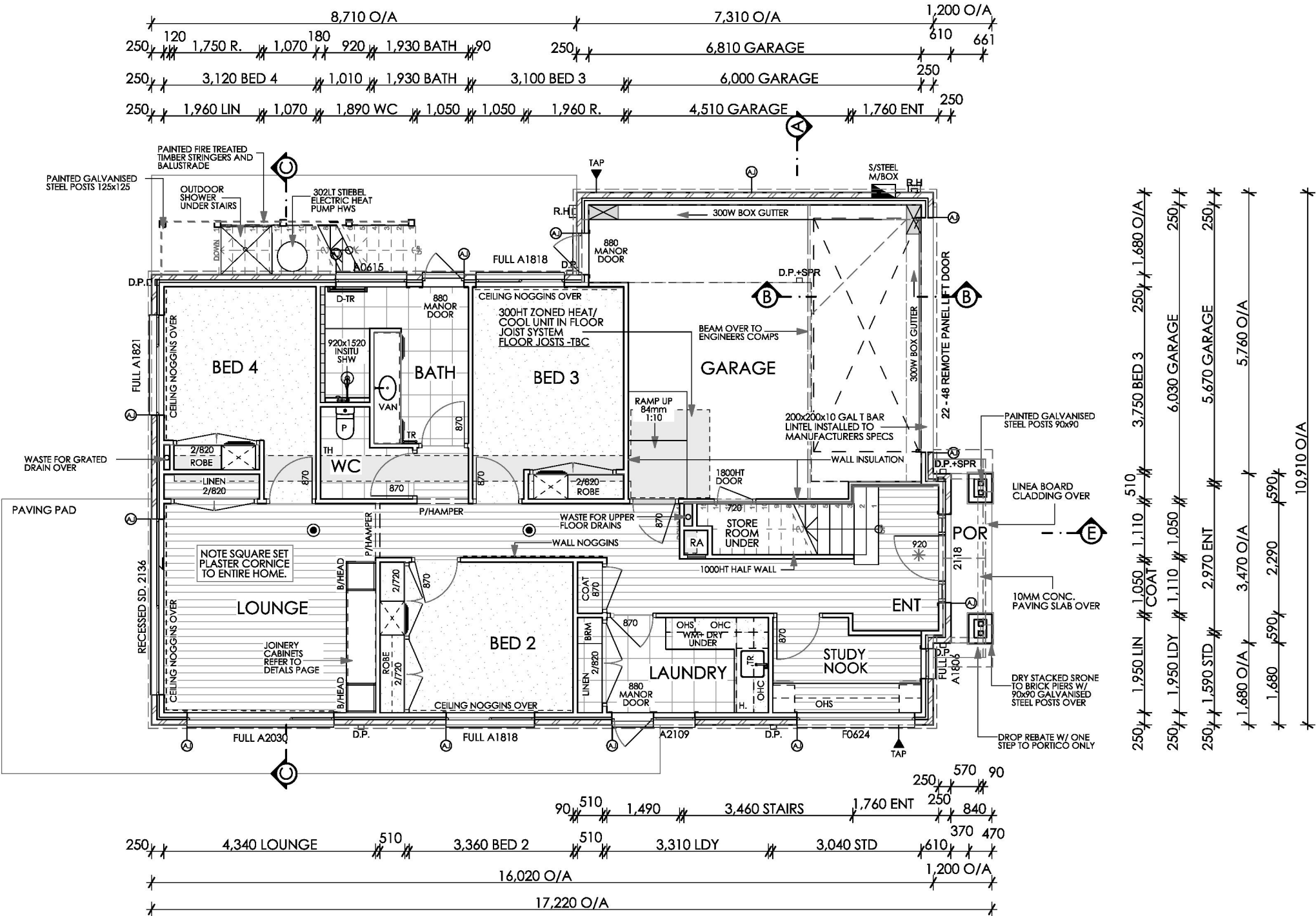
T DENOTES WINDOW TINT

\* DENOTES DOUBLE GLAZING



FLOOR TILES	M2
ALFRESCO	21.83
BATHROOM	8.40
ENSUITE	5.94
LAUNDRY	6.17
POWDER	3.09
WC	2.83

	DENOTES CARPET 57.22 sq.m
	DENOTES VINYL PLANKING sq.m
	DENOTES POLISHED CONCRETE sq.m
	DENOTES TIMBER FLOORING 105.13 sq.m



	AREA (sqm)	AREA (sq's)
PORCH	2.91	0.31
ALFRESCO	21.98	2.37
GARAGE	41.47	4.46
FIRST FLOOR	112.05	12.06
GROUND FLOOR	119.74	12.89
TOTAL	298.15	32.09

## PROPOSED RESIDENCE

Site Address:  
LOT 26 SUTLEJ COURT, PETERBOROUGH

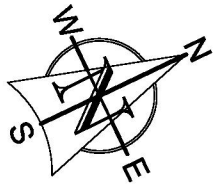
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Specification: LIFESTYLE 25  
Project ID:  
Project Status: PLANNING ONLY  
Drawn Date: 18-02-2025

Checked by:  
Authorised by:  
Consultant: A FENTON  
Revised Date: 08-01-2026

Drawing Title:  
**GROUND FLOOR PLAN**  
Drawing Scale:  
**1:100**

Drawing No. 4  
Sheet Size: A3





FLOOR TILES	M2
ALFRESCO	21.83
BATHROOM	8.40
ENSUITE	5.94
LAUNDRY	6.17
POWDER	3.09
WC	2.83

	DENOTES CARPET
	DENOTES VINYL PLANKING
	DENOTES POLISHED CONCRETE
	DENOTES TIMBER FLOORING



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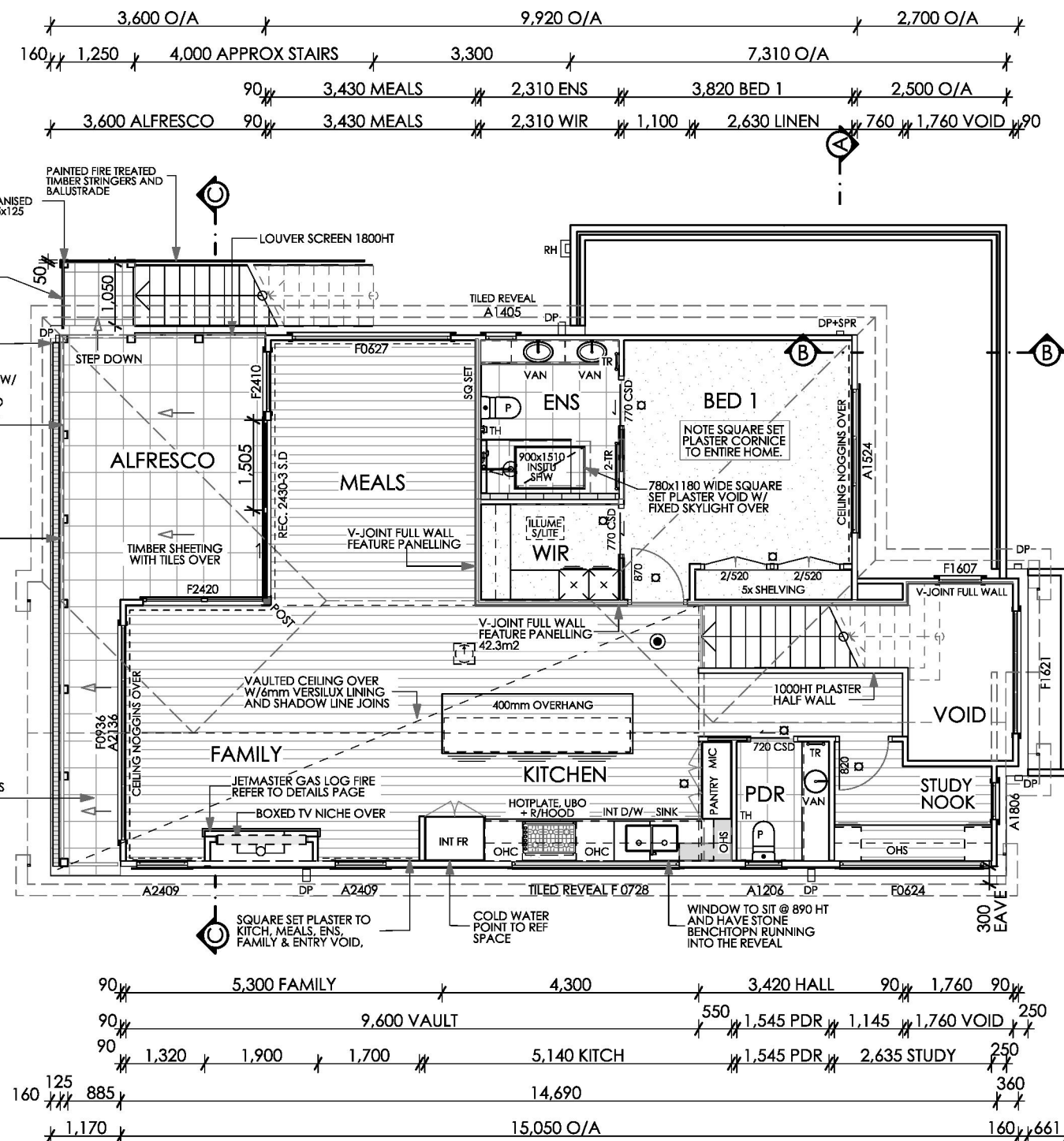
Checked by:  
Authorised by:  
Consultant: A FENTON  
Revised Date: 08-01-2026

Drawing Title:  
**FIRST FLOOR PLAN**  
Drawing Scale:

	AREA (sqm)	AREA (sq's)
PORCH	2.91	0.31
ALFRESCO	21.98	2.37
GARAGE	41.47	4.46
FIRST FLOOR	112.05	12.06
GROUND FLOOR	119.74	12.89
TOTAL	298.15	32.09

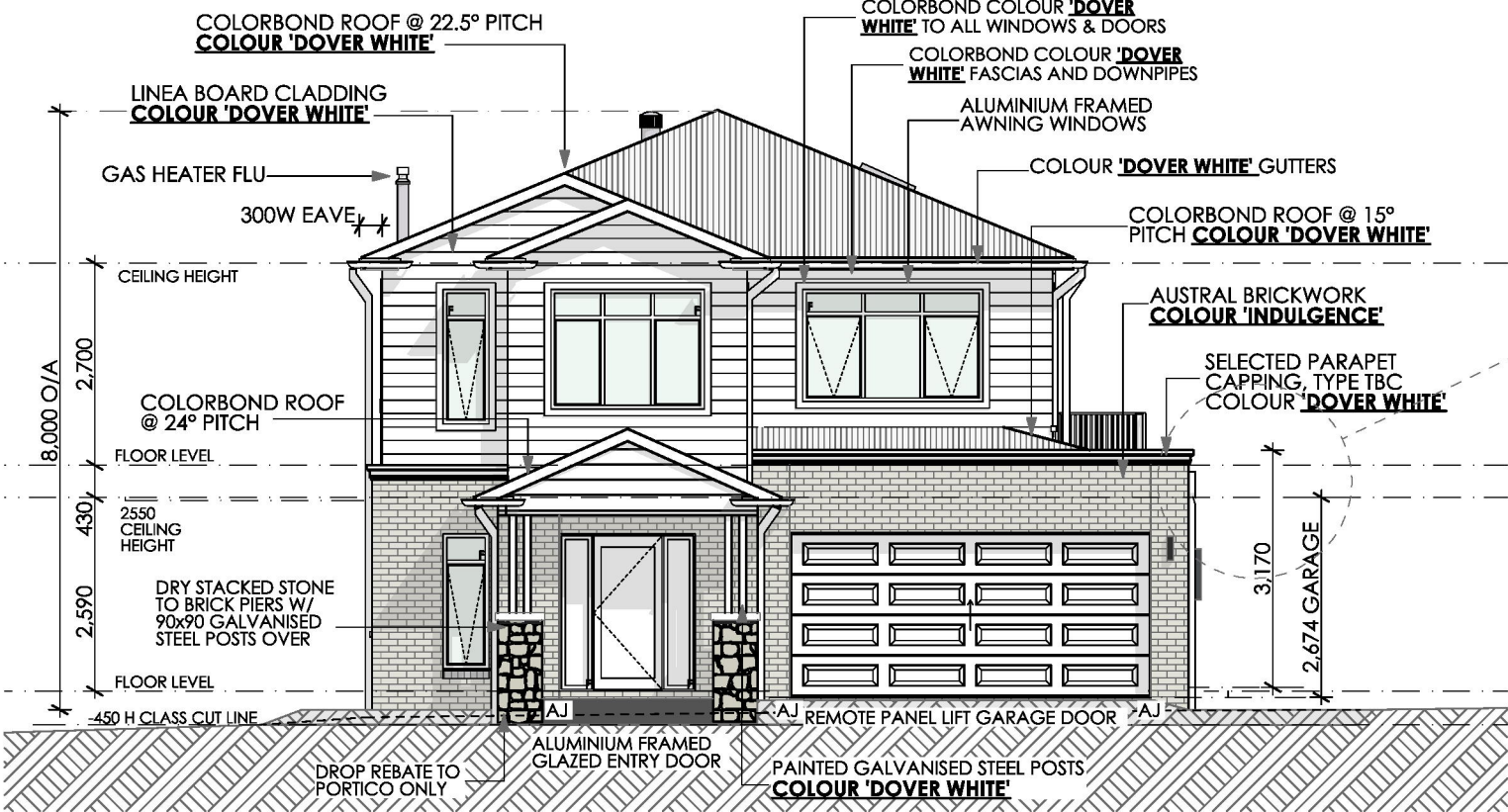
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Sheet Size: A3

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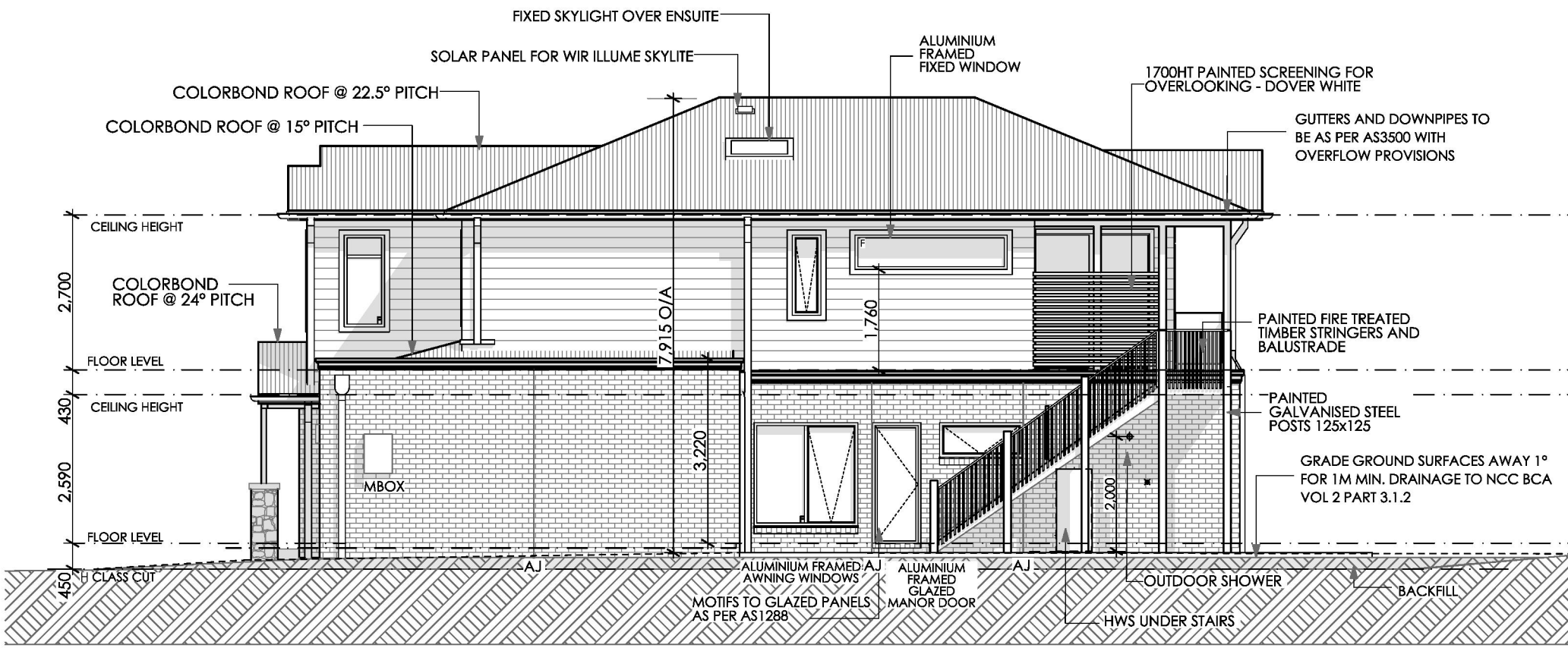




WIND RATING: N3



NORTH ELEVATION



WEST ELEVATION



PROVIDE MASONRY ARTICULATION JOINTS IN  
ACCORDANCE WITH NCC & TECHNICAL NOTE 61.

PROPOSED RESIDENCE

Site Address:  
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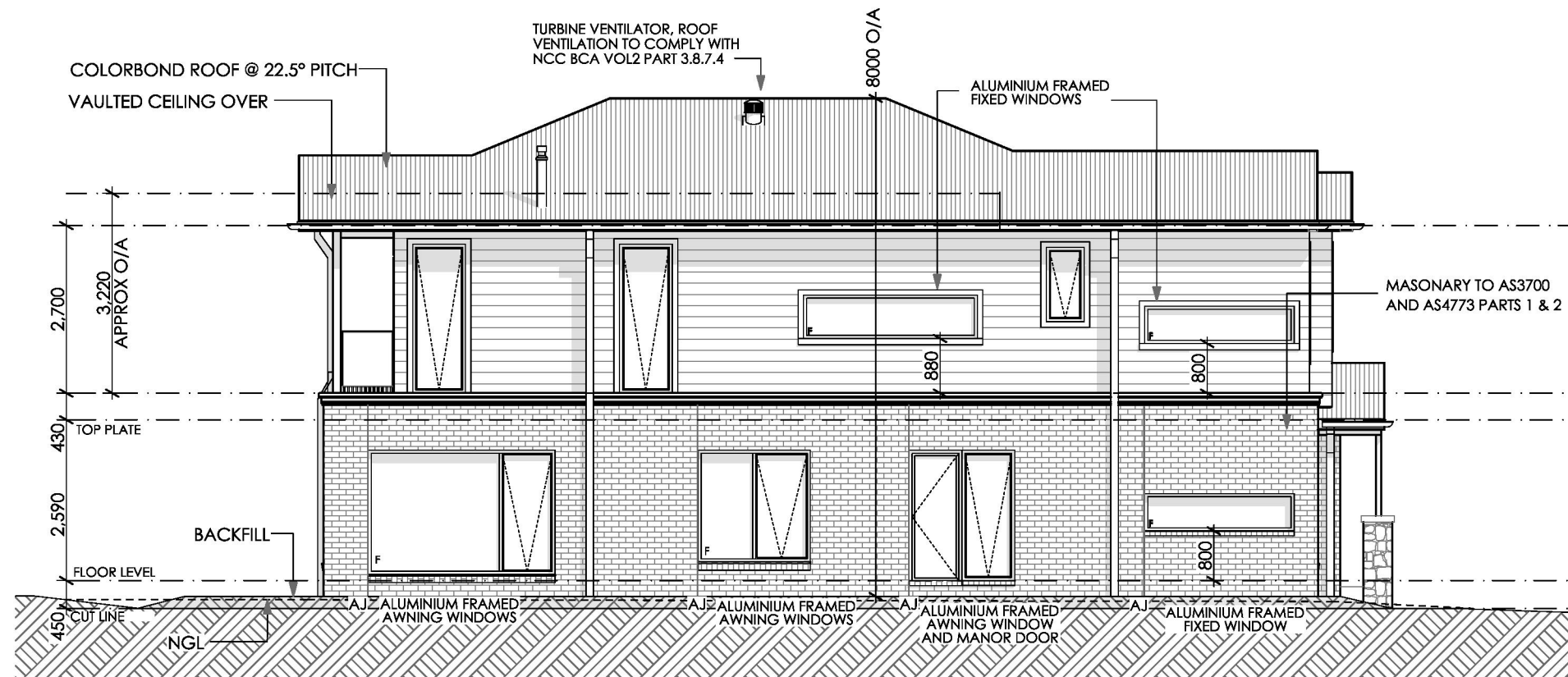
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Specification: LIFESTYLE 25  
Project ID:  
Project Status: PLANNING ONLY  
Drawn Date: 18-02-2025

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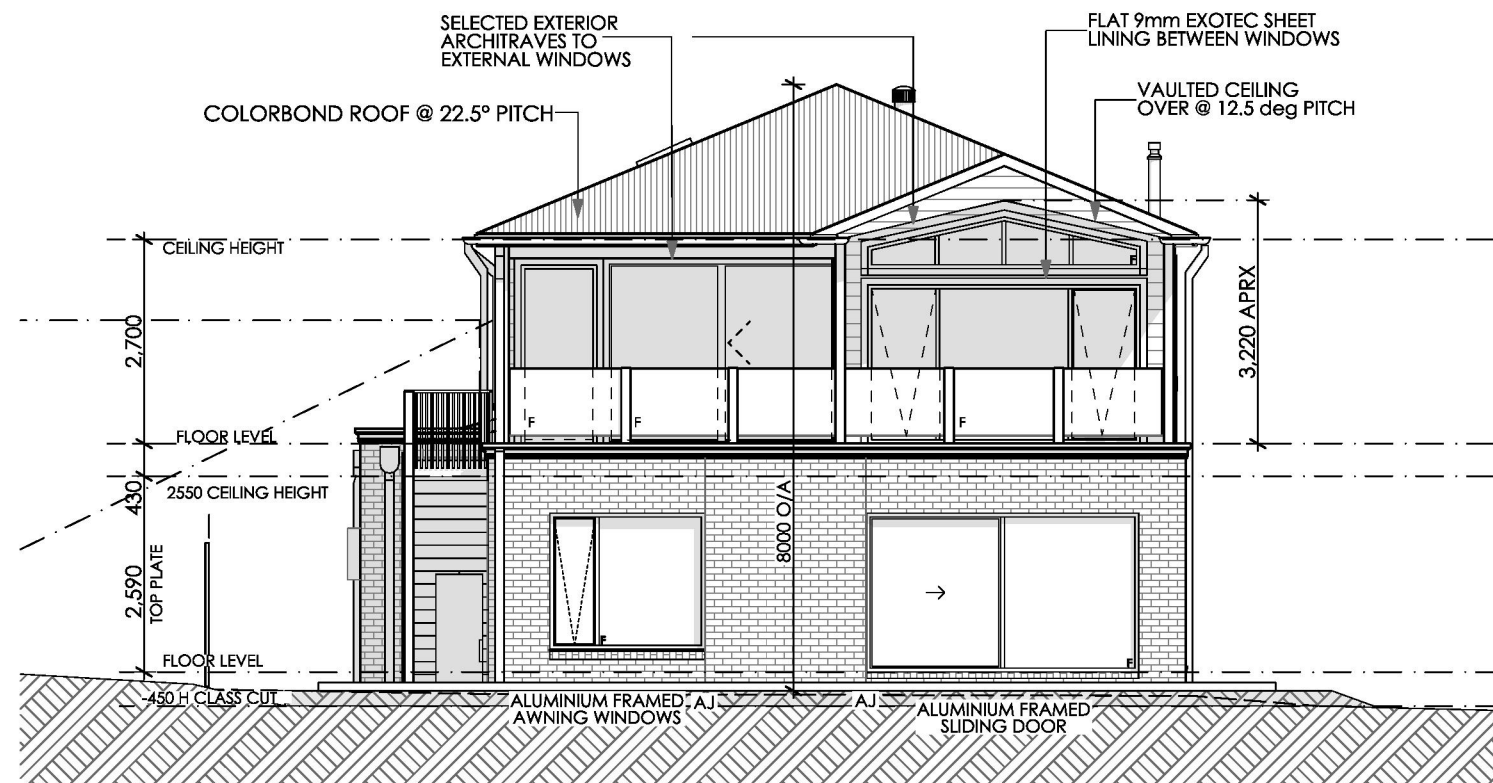
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Drawing Scale:  
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Drawing No.  
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Sheet Size:  
**A3**  
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EAST ELEVATION



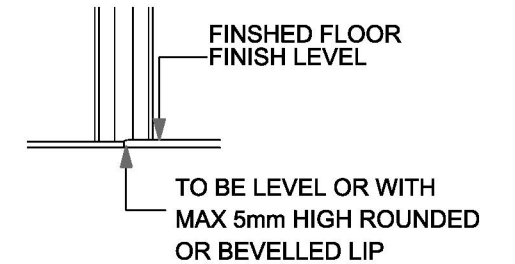
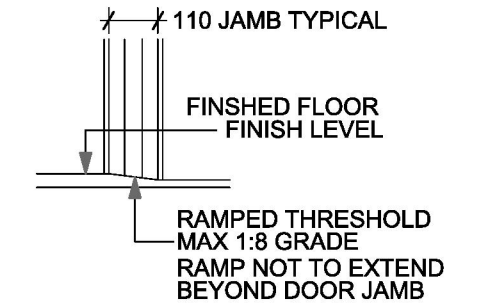
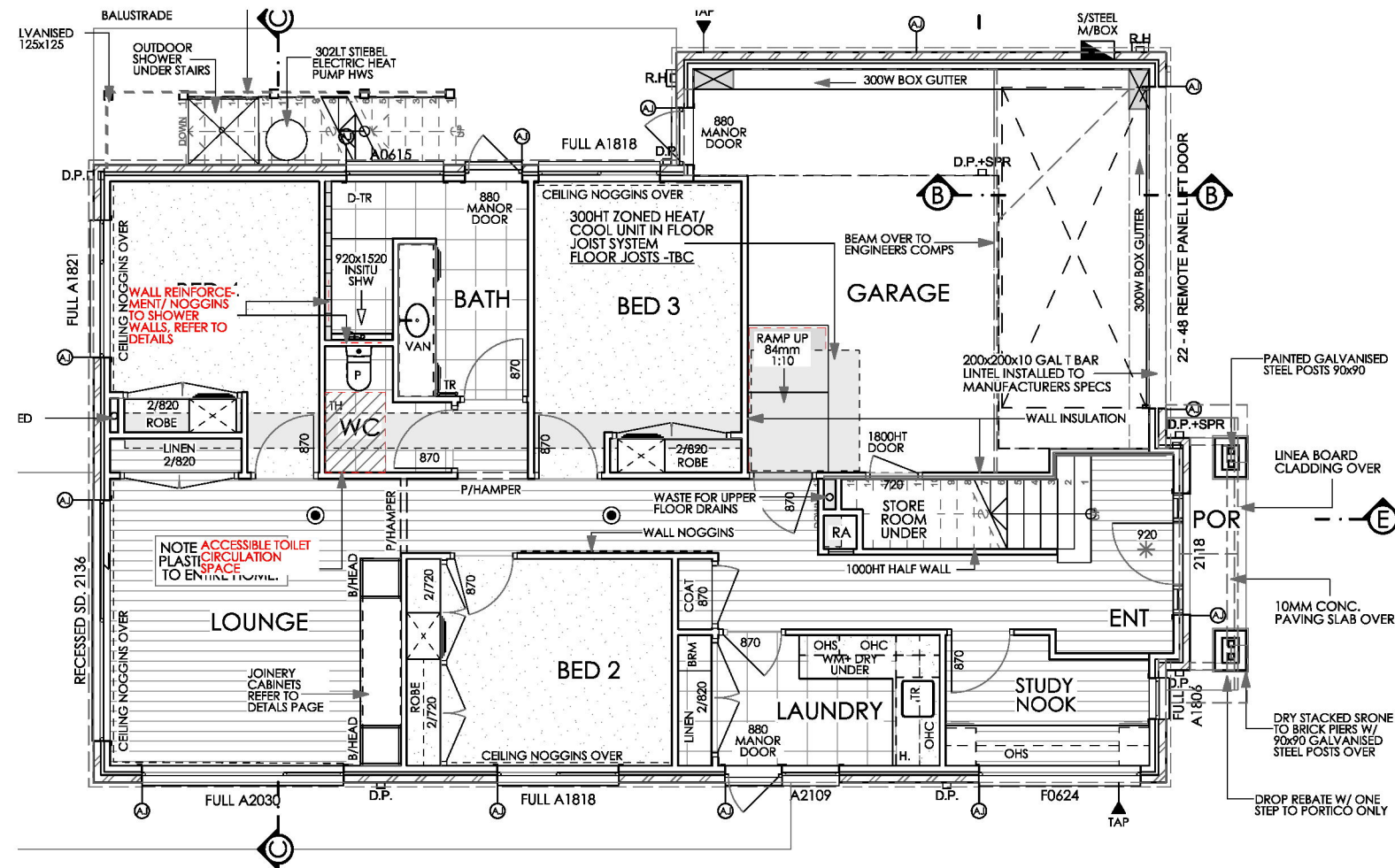
SOUTH ELEVATION



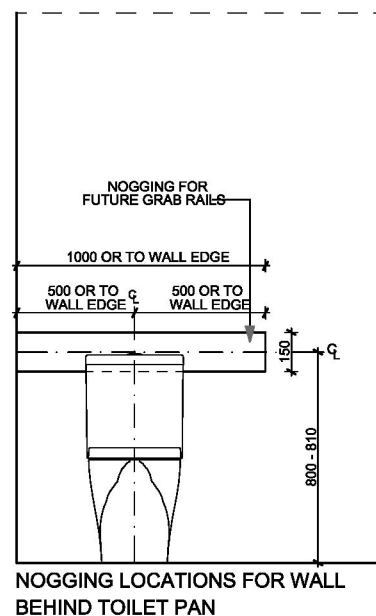
PROVIDE MASONRY ARTICULATION JOINTS IN ACCORDANCE WITH NCC & TECHNICAL NOTE 61.



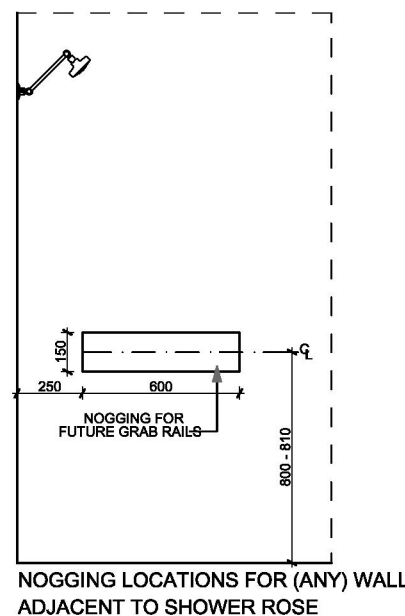
## ROOF VENTING LOCATIONS TBC



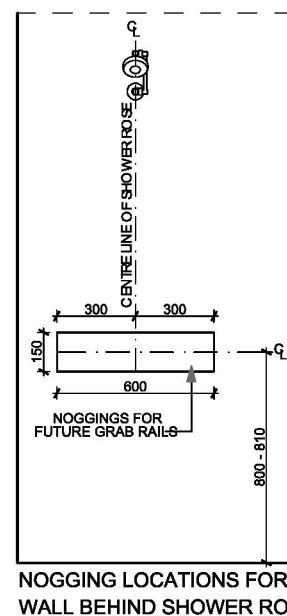
**INTERNAL THRESHOLD DETAILS**  
NOT TO SCALE  
NOTE: REQUIRED TO ALL INTERNAL DOORWAYS THAT ARE SUBJECT 3.1 OF THE NCC LIVEABLE HOUSING DESIGN GUIDE



NOGGING LOCATIONS FOR WALL BEHIND TOILET PAN



NOGGING LOCATIONS FOR (ANY) WALL ADJACENT TO SHOWER ROSE



NOGGING LOCATIONS FOR WALL BEHIND SHOWER ROSE

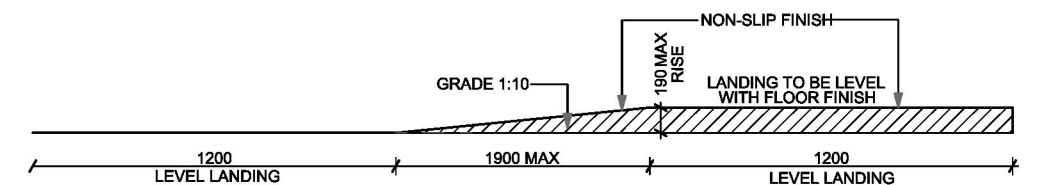
## LOCATIONS FOR NOGGINGS FOR LIVEABLE HOUSING

PROVIDE NOGGINGS TO COMPLY WITH PART 6 OF THE NCC LIVEABLE HOUSING DESIGN GUIDE AS PER ABOVE DETAILS FOR

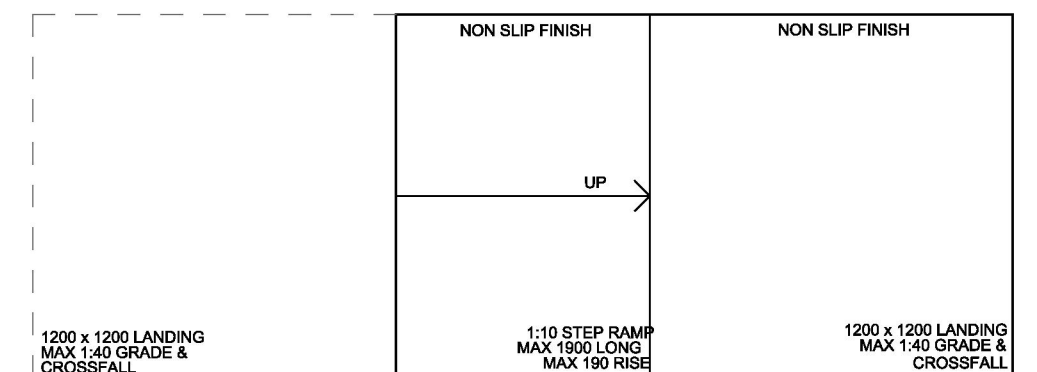
- NOMINATED ACCESSIBLE SHOWER
- BATH IN ROOM WITH NOMINATED SHOWER (FREE STANDING BATH EXEMPT)
- NOMINATED PAN

NOTES:

- FREE STANDING BATHS ARE EXEMPT
- IF WALL TERMINATES OR THERE IS AN OPENING WITHIN NOMINATED NOGGING AREA PROVIDE NOGGINGS TO REMAINDER OF AREA ONLY
- TAPS, RECESS, SOAP HOLDERS AND THE LIKE MAY BE LOCATED WITH-IN THE POSITIONS DESIGNED FOR WALL REINFORCING



**STEP RAMP SECTION DETAIL**  
NOT TO SCALE



**STEP RAMP PLAN VIEW**  
NOT TO SCALE

## TYPICAL NOGGING LOCATIONS

NOT TO SCALE

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Checked by:  
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Consultant: A FENTON  
Revised Date: 08-01-2026

Drawing Title:  
**LIVEABLE HOUSING ESIGN**  
Drawing Scale:  
**1:100**

Drawing No. **8** Sheet Size: **A3**  
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RESCODE REQUIREMENTS

54-.03.1 MINIMUM STREET SETBACK

MAXIMUM STREET SETBACK PERMISSIBLE	10.0m
PROPOSED FRONT SETBACK	6.0m

54-.03.2 55B2-2 BUILDING HEIGHT

MAXIMUM OVERALL HEIGHT OF RESIDENCE	7.84m
-------------------------------------	-------

54-.03.3 SITE COVERAGE

MAXIMUM SITE COVERAGE (60% OF BLOCK)	288.00sq.m
TOTAL BUILDING AREA	164.12sq.m
ACTUAL SITE COVERAGE AS A %	34.19%

54-.03-4 PERMIABILITY

MIN 20% PERMIABLE SURFACES	96.00sq.m
SITE AREA COVERED BY PERMIABLE SURFACES	91.23sq.m PAVING 255.35sq.m 53.19% IMPERMIABLE

CAR PARKING

REFER TO DRAWING FOR PROPOSED CAR SPACE LOCATIONS AND SIZES

CAR PARKING FOR RESIDENTS TO BE PROVIDED AS FOLLOWS:

- 1 CAR SPACE FOR EACH 1 OR 2 BEDROOM DWELLING.
- 2 SPACES FOR EACH 3 OR MORE BEDROOM DWELLING WITH 1 SPACE UNDER COVER.
- FOR SPACES PROVIDED IN A GARAGE, CARPORT OR OTHERWISE CONSTRAINED BY WALLS, A DOUBLE SPACE MAY BE 5.5M WIDE.

54-.04-2 55B2-4 WALLS ON BOUNDARIES

10 METERS PLUS 25% OF REMAINING BDRY LENGTH OR LENGTH OF EXISTING NEIGHBORING WALLS	0.00sq.m
--	----------

54-0.4-5 OVERSHADOWING

THE AREA OF SECLUDED PRIVATE OPEN SPACE THAT IS NOT OVERSHADOWED BY THE NEW DEVELOPMENT IS GREATER THAN 75 PER CENT, OR 40 SQUARE METRES WITH A MINIMUM DIMENSION OF 3 METRES, WHICHEVER IS THE LESSER AREA, FOR A MINIMUM OF FIVE HOURS BETWEEN 9 AM AND 3 PM ON 22 SEPTEMBER.

54-0.4-6 OVERLOOKING

OVERLOOKING DOES NOT APPLY WHERE THERE IS A VISUAL BARRIER AT LEAST 1.7m HIGH & THE FLOOR LEVEL IS LESS THAN 0.8m ABOVE GROUND LEVEL.

54-0.5-1 DAYLIGHT TO HABITABLE ROOMS

REFER TO DRAWING FOR PROPOSED SETBACKS

AN OUTDOOR SPACE CLEAR TO THE SKY OR A LIGHT COURT WITH A MINIMUM AREA OF 3 SQUARE METRES AND MINIMUM DIMENSION OF 1 METRE CLEAR TO THE SKY, NOT INCLUDING LAND ON AN ABUTTING LOT; OR

- A VERANDAH PROVIDED IT IS OPEN FOR AT LEAST ONE THIRD OF ITS PERIMETER; OR
- A CARPORT PROVIDED IT HAS TWO OR MORE OPEN SIDES AND IS OPEN FOR AT LEAST ONE THIRD OF ITS PERIMETER.

54-0.5-2 PRIVATE OPEN SPACE

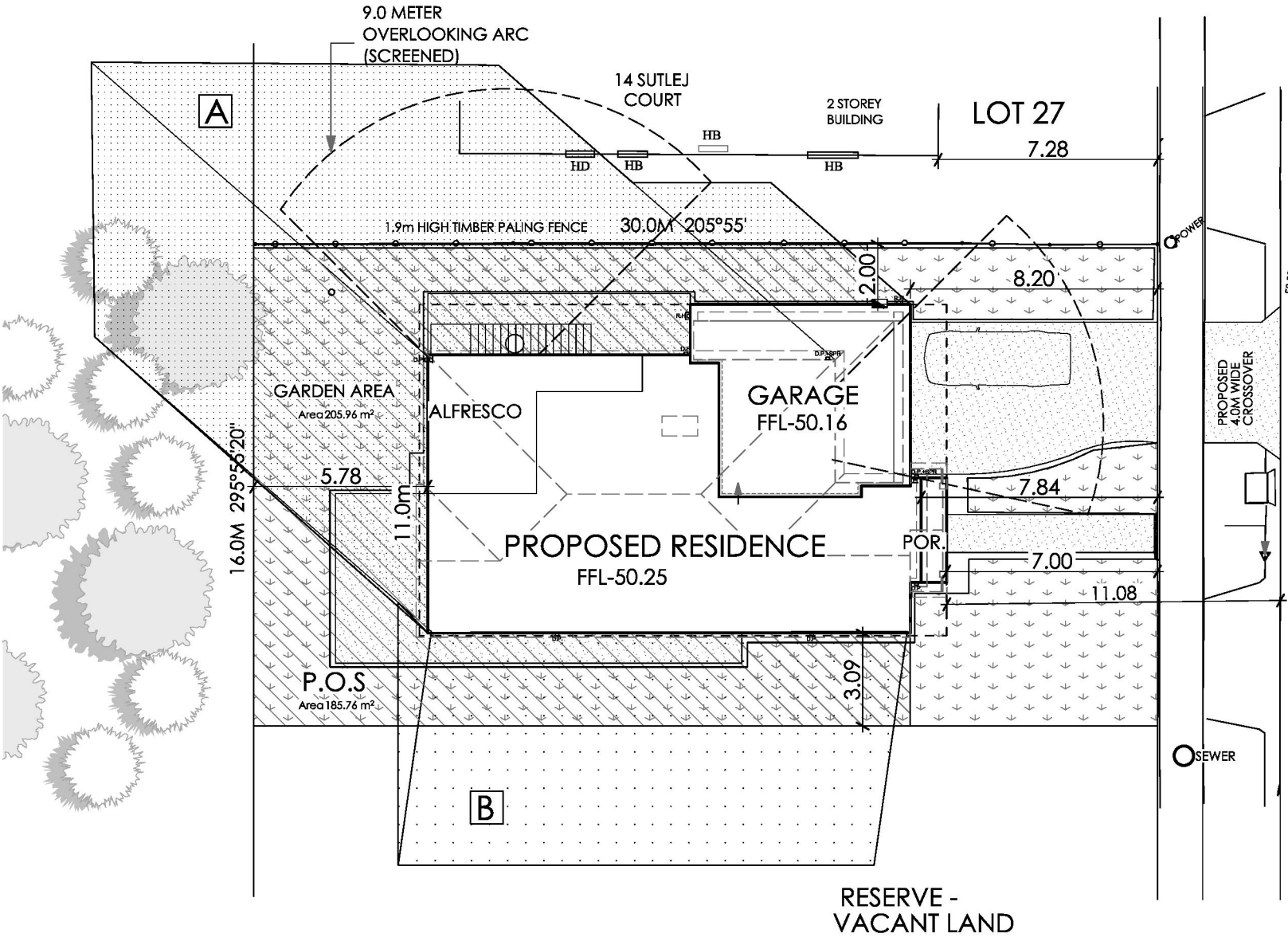
A DWELLING SHOULD HAVE PRIVATE OPEN SPACE OF AT LEAST 80 SQUARE METERS OR 20% OF THE LOT AREA, WHICHEVER IS LESS, BUT NOT LESS THAN 40 SQUARE METERS.



96.00 sq.m 20%  
TOTAL 185.76sq.m

54-.05-3 55B-3.6 SOLAR ACCESS TO POS

THE SOUTHERN BOUNDARY OF SECLUDED PRIVATE OPEN SPACE IS SET BACK FROM ANY WALL ON THE NORTH OF THE SPACE AT LEAST (2+0.9H) METRES, WHERE 'H' IS THE HEIGHT OF THE WALL. (REFER TO SETBACKS)



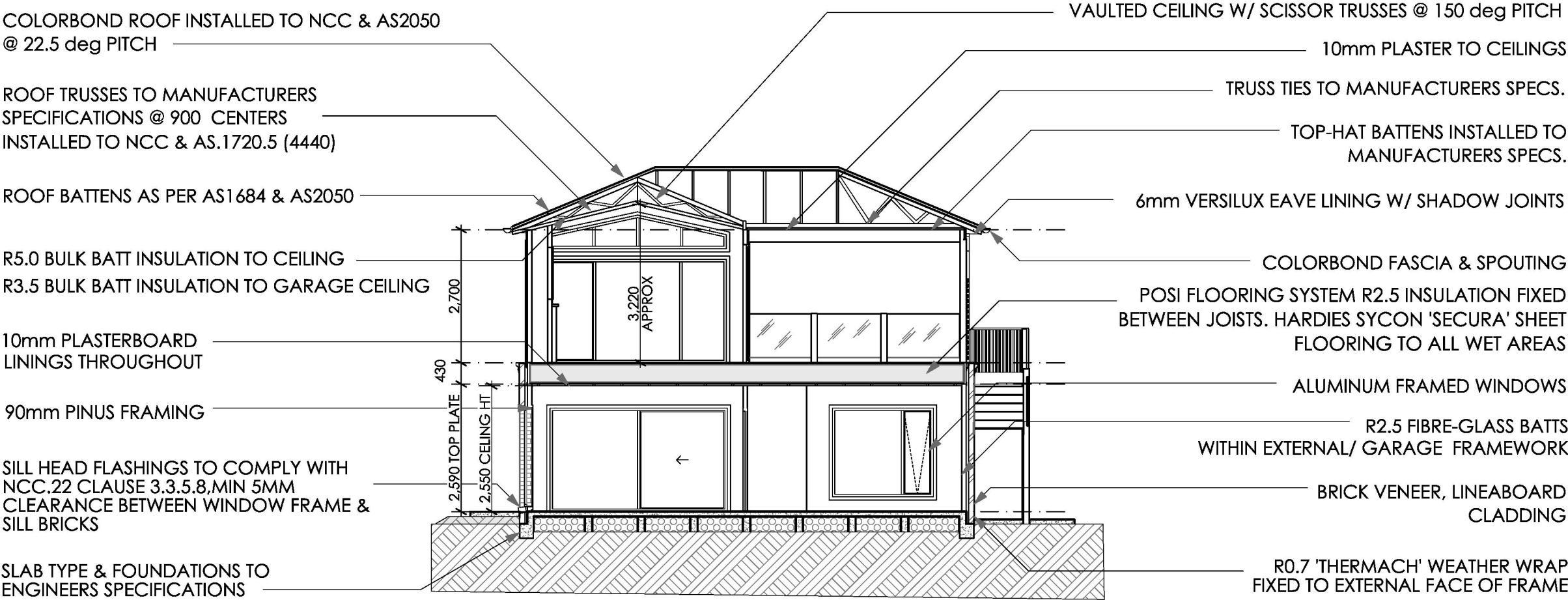
A 9.0AM SHADOW CAST  
MAR.21 - SEPT. 23 (EQUINONX)

B 3.0PM SHADOW CAST  
MAR.21 - SEPT. 23 (EQUINONX)

DENOTES EXPOSED AGGREGATE CONCRETE	AREA (sqm)
CROSSOVER	10.59
DRIVEWAY	37.80
PATH	8.82
PATH	17.67
PATH	27.69

DENOTES CONCRETE	AREA (sqm)
CROSSOVER	10.59
DRIVEWAY	37.80
PATH	8.82
PATH	17.67
PATH	27.69





BAL 40

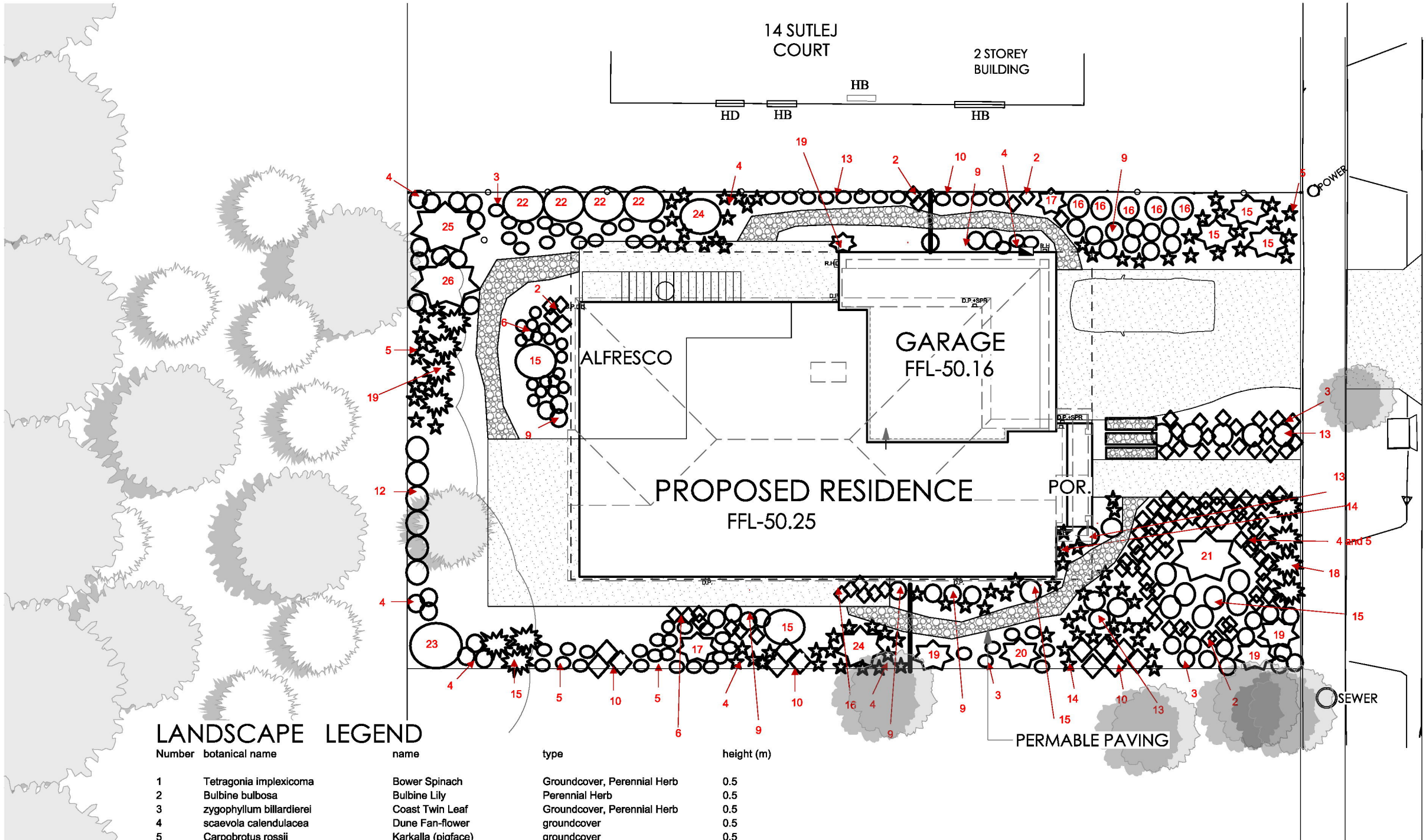
WINDOW LINTEL SCHEDULE - SHEET ROOF

TRUSS SPAN (mm)	OPENING WIDTH (mm)	SEASONED TIMBER		TRUSS SPAN (mm)	OPENING WIDTH (mm)	SEASONED TIMBER		TRUSS SPAN (mm)	OPENING WIDTH (mm)	SEASONED TIMBER		TRUSS SPAN (mm)	OPENING WIDTH (mm)	SEASONED TIMBER	
		F17	F27			F17	F27			F17	F27			F17	F27
UP TO 3000	900	90 x 35	90 x 35	3000 TO 6000	900	90 x 35	90 x 35	6000 TO 9000	900	90 x 35	90 x 35	9000 TO 12000	900	90 x 35	90 x 35
	1200	90 x 35	90 x 35		1200	90 x 35	90 x 35		1200	90 x 45	90 x 35		1200	2/90 x 35	2/90 x 35
	1500	90 x 35	90 x 35		1500	2/90 x 35	90 x 45		1500	2/90 x 45	2/90 x 35		1500	120 x 45	2/90 x 45
	1800	90 x 45	90 x 35		1800	2/90 x 45	2/90 x 35		1800	140 x 35	2/90 x 45		1800	2/120 x 35	2/120 x 35
	2100	2/90 x 35	90 x 45		2100	2/120 x 35	2/120 x 35		2100	2/120 x 45	2/120 x 35		2100	2/140 x 35	2/140 x 35
	2400	120 x 45	2/90 x 35		2400	2/120 x 45	2/120 x 35		2400	2/140 x 45	2/120 x 45		2400	190 x 45	2/140 x 45
	3000	2/140 x 35	2/120 x 35		3000	2/170 x 35	2/140 x 45		3000	2/170 x 45	2/170 x 35		3000	2/190 x 45	2/170 x 45
	3600	2/190 x 35	2/170 x 35		3600	2/240 x 35	2/190 x 45		3600	2/240 x 35	2/240 x 35		3600	2/240 x 45	2/240 x 45

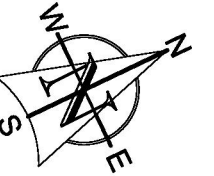
Note: All new homes in bushfire prone areas to be constructed to a minimum bushfire attack level (BAL) of 12.5. in accordance with Australian Standards® AS3959-2009

- NOTES:
1. LINTELS SUPPORTING CONCENTRATED LOADS SHALL BE DESIGNED IN ACCORDANCE WITH AS- 1684.
  2. MULTIPLE MEMBERS SHALL BE VERTICALLY NAIL-LAMINATED
  3. LINTELS IN SKILLION OR GABLE END WALLS, NOT SUPPORTING ROOF LOADS, SHALL BE DETERMINED AS PER AS. 1684
  4. MINIMUM BEARING LENGTH AT SUPPORTS SHALL BE 35MM
  5. ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH AS1684 & MANUFACTURERS DESIGN FOR N1 DESIGN WIND SPEED
  6. MASONRY LINTELS TO BE AS PER NCC22, AS.4773.1, AS.4773.2 & AS.3700 ABCB HOUSING PROVISIONS PART 5.2





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NO.16 SUTLEJ COURT

## LANDSCAPE LEGEND

Number	botanical name	name	type	height (m)
1	Tetragonia implexicoma	Bower Spinach	Groundcover, Perennial Herb	0.5
2	Bulbine bulbosa	Bulbine Lily	Perennial Herb	0.5
3	zygophyllum billardierei	Coast Twin Leaf	Groundcover, Perennial Herb	0.5
4	scaevola calendulacea	Dune Fan-flower	groundcover	0.5
5	Carpobrotus rossii	Karkalla (pigface)	groundcover	0.5
6	Viola hederacea	Ivy-leaf Violet	groundcover	0.5
7	Kunzea pomifera	Muntries	groundcover	0.5
8	Carex inversa	Strand Sedge	Sedge/Rush	0.5
9	Dianella brevicaulis	Coast Flax-lily	wild flower	1
10	Lepidosperma gladiatum	Coast Sword-sedge	Sedge/Rush	
11	Correa reflexa var. reflexa	Correa 'Grannys Grave'	shrub	1
12	Myoporum parvifolium	Creeping Boobialla	groundcover	1
13	Leucophyta brownii	Cushion Bush	shrub	
14	Xerochrysum bracteatum	Golden Everlasting	wild flower	1
15	Westringia fruticosa	Coastal Rosemary	shrub	2
16	Eremophila glabra	Common Emu-bush	shrub	
17	Banksia media	Southern-plains Banksia	tree, shrub	2
18	Correa alba	White Correa	shrub	2
19	Chamelauicum uncinatum	Geraldton wax	shrub	3
20	Grevillea leucopetris	White-plumed Grevillea	shrub	3
21	Banksia integrifolia	Coast Banksia	tree	4
22	Olea europaea	olive	tree	4
23	Acmena hemilampra	broad-leaved Lilly Pilly	tree	8
24	Jacaranda mimosifolia	Jacaranda	tree	8
25	Citrus limon 'Eureka'	Lemon tree	tree	7
26	Citrus aurantifolia	lime tree	tree	7

 DENOTES EXPOSED AGGREGATE CONCRETE

AREA (sqm)

DENOTES CONCRETE	AREA (sqm)
CROSSOVER	10.59
DRIVEWAY	37.80
PATH	8.82
PATH	17.67
PATH	27.69

## PROPOSED RESIDENCE

Site Address:  
LOT 26 SUTLEJ COURT, PETERBOROUGH

House Title: CUSTOM  
Specification: LIFESTYLE 25  
Project ID:  
Project Status: PLANNING ONLY  
Drawn Date: 18-02-2025

Checked by:  
Authorised by:  
Consultant: A FENTON  
Revised Date: 08-01-2026

Drawing Title:  
**LANDSCAPE PLAN**  
Drawing Scale:  
**1:150**

Drawing No. 11  
Sheet Size: A3