

welcome home.

> bryanpetersen.com.au



Bryan & Petersen
Quality Builders

PROPOSED RESIDENCE

Site Address:

LOT 26 SUTLEJ COURT, PETERBOROUGH

Date:

08-01-2026

OWNER/S FINAL APPROVAL

I/We accept these plans are as per our requests and can be used as the final set to construct our home.

I understand that any variations requested after this final set is processed will incur a re-drafting/administration fee.

SIGNATURE/S

.....
OWNER

.....
OWNER

BRYAN & PETERSEN QUALITY BUILDERS

Address: 170 KOROIT STREET, WARRNAMBOOL, VIC 3280

Phone: (03) 55614978

Email: reception@bphomes.com.au

Website: www.bryanpetersen.com.au

DBU; CDBU51410

PLANNING ONLY



BRYAN AND PETERSEN HOMES

FLOOR PLAN LEGEND

(A) ARTICULATION JOINTS

► EXTERNAL TAP

⊕ CAPPED GAS POINT

(S) SMOKE DETECTOR

★ DENOTES DOUBLE GLAZING

DOOR WIDTH & TYPE

F = FLUSH PANEL DOOR

P = MOLDED PANEL DOOR

ALL DOORS 2040mm

HIGH UNLESS MARKED

WITH 2340mm HIGH.

DP DOWNPIPE

SP SPREADER

OHC OVERHEAD CUPBOARDS

M/W MICROWAVE CAVITY

D/W DISHWASHER

R/H RANGEHOOD

CAN CANOPY

W/O WALL OVEN

FR FRIDGE SPACE

VAN VANITY

T/R TOWEL RAIL / RING

T/H TOILET ROLL HOLDER

TR TROUGH

P PAN

Br. BROOM CUPBOARD

P/H PLASTER HAMPER

B/H PLASTER BULKHEAD

1. GENERAL NOTES

- 1.1 WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE
- 1.2 WORK PRACTICES AND MATERIALS USED SHALL COMPLY TO LOCAL COUNCIL REGULATIONS, THE 'BUILDING CODE OF AUSTRALIA' AND ANY RELEVANT CODES REFERRED TO IN THE NCC2022
- 1.3 THESE PLANS SHALL BE READ IN CONJUNCTION WITH ANY STRUCTURAL AND/OR CIVIL ENGINEERING COMPUTATIONS AND DRAWINGS RELATING TO THIS PROJECT
- 1.4 ALL INTERNAL WALLS SHALL BE 90mm UNLESS OTHERWISE STATED, ALL EXTERNAL WALLS SHALL BE 250mm UNLESS OTHERWISE STATED
- 1.5 LOCATION OF MANHOLES TO BE CONFIRMED BY BUILDING SUPERVISOR IN CONJUNCTION TO PLACEMENT OF CENTRAL HEATING UNIT
- 1.6 WATERPROOF WET AREAS AS PER AS3740 & NCC 10.2
- 1.7 INSTALL TERMITE BARRIERS AS PER AS 3660.1-2000 & NCC

2. SLAB & FOOTINGS

- 2.1 SOIL CLASSIFICATION AS PER SOIL REPORT IS CLASS: 'H1' - N3

- 2.2 CONCRETE FOOTINGS AND SLAB SHALL BE LAID IN ACCORDANCE WITH THE ENGINEERS DESIGN SPECIFICATIONS, AS2870-2011 & NCC, AS APPLICABLE

- 2.3 FOOTING DIMENSIONS AND REINFORCEMENTS SHOWN ARE MINIMUM REQUIREMENTS

- 2.4 FOOTINGS SHALL NOT ENCROACH TITLE BOUNDARIES AND EASEMENT LINES

- 2.5 THE OWNERS ATTENTION IS DRAWN TO APPENDIX 'A' OF AS2870 "PERFORMANCE REQUIREMENTS AND FOUNDATION MAINTENANCE"

3. CARPENTRY

- 3.1 ALL FRAMING IS FACTORY FABRICATED USING 90mm F5 PINUS, MADE AND INSTALLED TO MANUFACTURERS SPECIFICATIONS, THE NCC 2022, A.S 1684 AND LOCAL COUNCIL REGULATIONS

- 3.2 ALL ROOF TRUSSES ARE FACTORY FABRICATED USING F5 PINUS, MADE AND INSTALLED TO MANUFACTURERS SPECIFICATIONS, NCC PART 3.4.3 AND LOCAL COUNCIL REGULATIONS

- 3.3 BRACING AND TIE-DOWN REQUIREMENTS SHALL BE IN ACCORDANCE WITH FRAMING AND TRUSS MANUFACTURERS RECOMMENDATIONS AND CURRENT BUILDING REGULATIONS

4. BRICKWORK

- 4.1 ALL MASONARY WORK SHALL BE IN ACCORDANCE WITH THE NCC, AS.4773.1, AS.4773.2 + AS3700

- 4.2 A CONTINUOUS DAMP COURSE SHALL BE LAID THROUGH THE FULL THICKNESS OF THE BASE STRUCTURE WITH A COURSE OF WEEP HOLES AT 1200mm CENTERS IMMEDIATELY ABOVE DAMP COURSE
NOTE: ISOLATED PIERS SUPPORTING SHEET ROOFS MUST HAVE —(A) A BUILT -IN 32 X 0.8 MM GALVANISED STEEL STRAP FIXED TO THE ROOF STRUCTURE EXTENDING THE FULL HEIGHT OF THE PIER WHICH IS LOOPED AND FIXED AROUND A 4.6 GRADE 16 MM DIAMETER GALVANISED STEEL ROD CAST INTO THE FOOTING WHEN POURED;

OR

- (B) A 4.6 GRADE M16 GALVANISED STEEL ROD CAST INTO THE FOOTING, THREADED AT THE TOP AND EXTENDING THE FULL HEIGHT OF THE PIER TO CONNECT TO THE ROOF STRUCTURE.

5. WALL CLADDING

- 5.1 ALL OTHER WALL CLADDINGS TO BE INSTALLED TO THE NCC PART 3.5.3/3.5.4, MANUFACTURERS SPECIFICATIONS AND LOCAL COUNCIL REGULATIONS

6. ROOFING

- 6.1 ROOFING MATERIALS ARE TO COMPLY TO LOCAL COUNCIL REGULATIONS AND ANY COVENANTS IMPOSED BY LAND DEVELOPERS & ROOF CLADDING SHALL BE INSTALLED TO MANUFACTURERS RECOMMENDATIONS AND THE NCC VOL 2 PART 3.5.1 , ROOFING VENTILATION TO COMPLY WITH NCC BCA VOL2 PART 3.8.7.4

7. ROOF PLUMBING

- 7.1 ALL ROOF PLUMBING SHALL BE INSTALLED TO THE NCC VOL 2 PART 3.5.2 AND LOCAL COUNCIL REQUIREMENTS

- 7.2 ROOF PLUMBING SHALL BE COLORBOND FASCIA, COLORBOND 100mm QUAD GUTTERS WITH (PAINTED) ZINCALUME 100mm x 50mm RECTANGULAR DOWNPipes AS PER AS3500 WITH OVERFLOW PROVISIONS

8. GLAZING

- 8.1 ALL GLAZING SHALL MEET THE REQUIREMENTS OF THE NCC - & AS1288-2006/AS2047 INCLUDING MOTIFS TO GLAZING PANELS AS1288, GLASS BALUSTRADES IN ACCORDANCE WITH AS1288 AND NCC VOL2 2019 PART 3.9.2

9. PLUMBING (AS3500 & Volume Three - NCC)

- 9.1 ALL PLUMBING WORK SHALL BE CARRIED OUT BY A LICENSED AND/OR REGISTERED PLUMBER

- 9.2 WATER SERVICE SHALL BE 19mm POLYBUTYLENE OR COPPER PIPING 9.3 WASTE FROM ALL SANITARY FITTINGS SHALL BE IN PVC PIPING

10. ELECTRICAL

- 10.1 ALL ELECTRICAL WORK SHALL BE CARRIED OUT BY A LICENSED ELECTRICAL CONTRACTOR

- 10.2 A WATER-PROOF STEEL METERBOX SHALL BE INSTALLED AT APPROX. 1900mm ABOVE FINISHED GROUND LEVEL CONTAINING METERS AND SWITCHBOARD WITH PROVISION FOR TWO (2) ADDITIONAL CIRCUITS

- 10.3 SMOKE DETECTORS SHALL BE ADEQUATELY INSTALLED TO COMPLY TO THE NCC Part 3.7.2, AND LOCAL COUNCIL REQUIREMENTS

11. PLASTER

- 11.1 CEILINGS TO HAVE 10mm 'SUPA-CEIL' PLASTER SHEETS, WALLS TO HAVE 10mm PLASTER SHEETS, (CORNICE SUPPLIED AS PER SPECIFICATION) ALL AFFIXED TO MANUFACTURERS RECOMMENDATIONS

- 11.2 ALL PLASTER HAMPERS AND BULKHEADS TO BE 300mm DEEP UNLESS OTHERWISE SPECIFIED

12. INSULATION

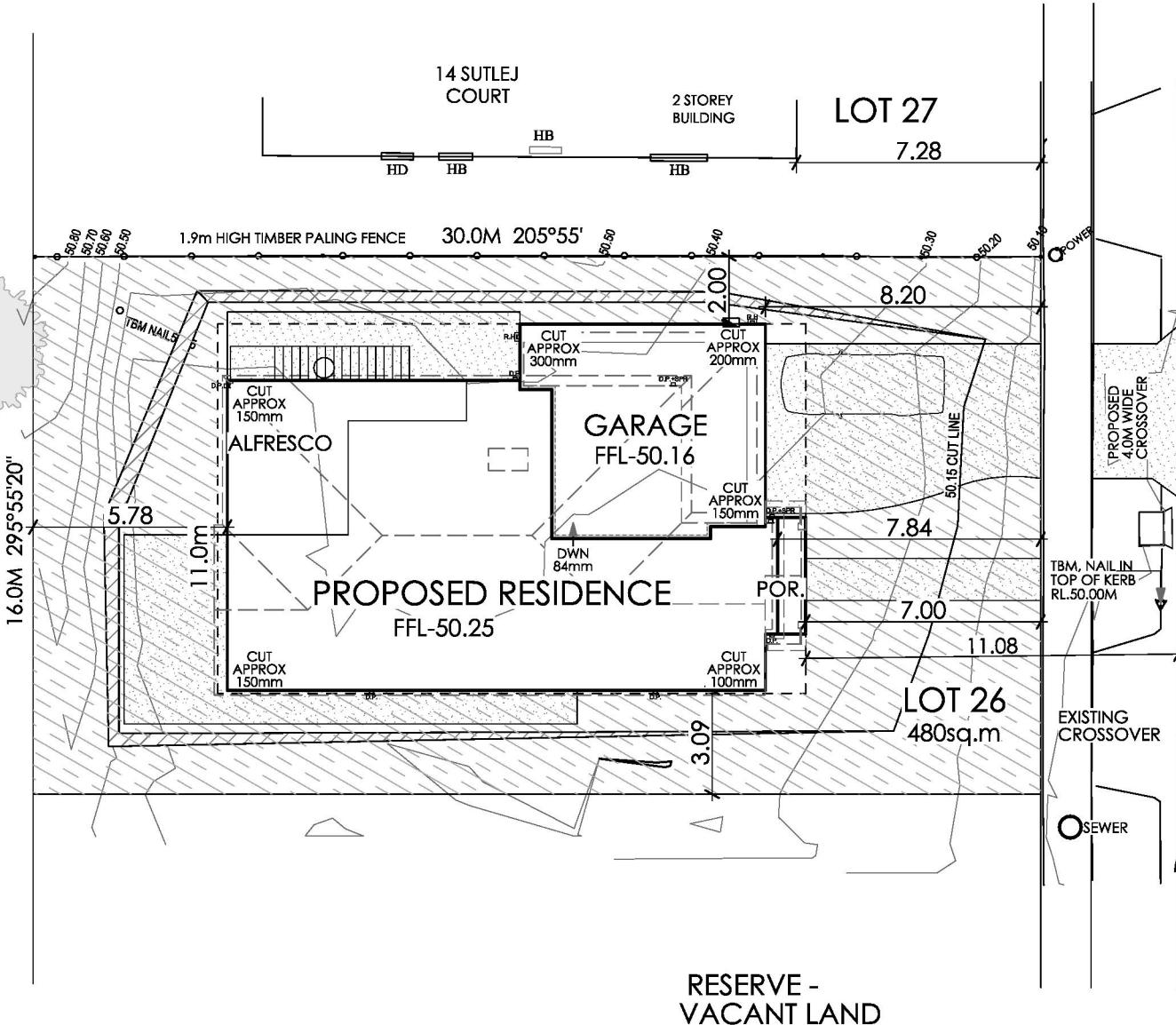
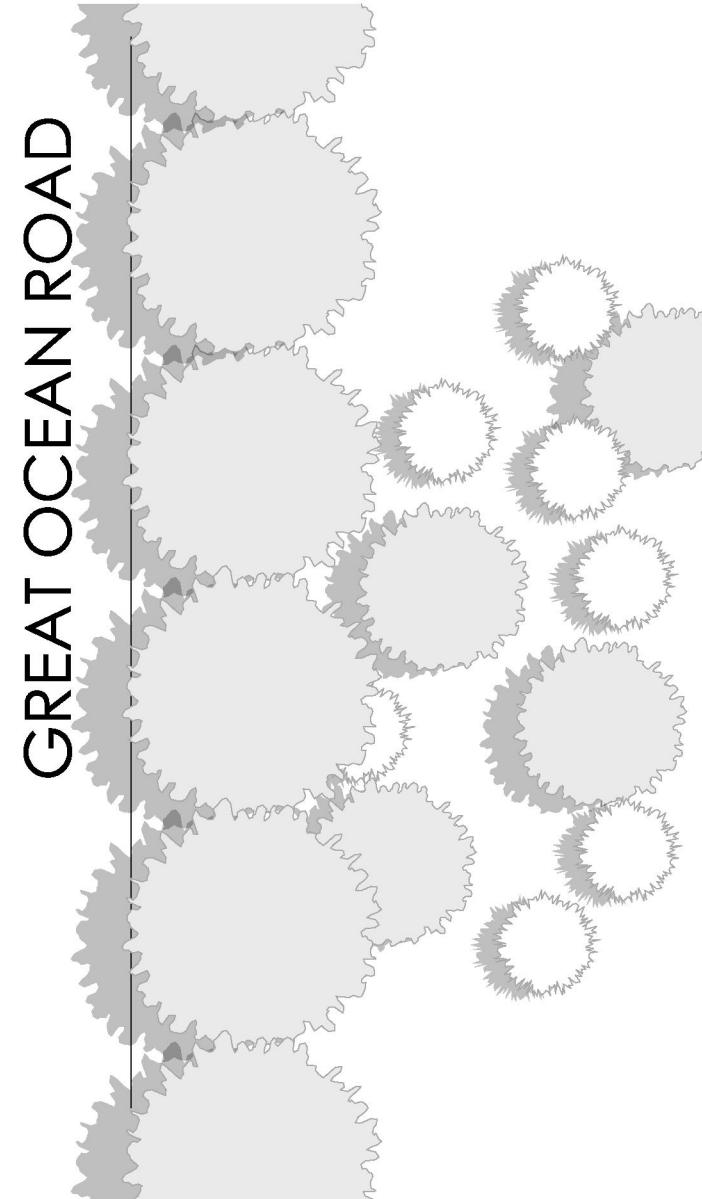
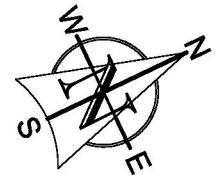
- 12.1 INSULATION TO HOME SHALL BE AS FOLLOWS:- REFER TO SECTION DETAILS

- 12.2 ANY SARKING TO BE INSTALLED MUST HAVE A FLAMMABILITY INDEX OF NOT MORE THAN 5.0

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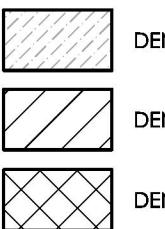
INFORMATION REQUIRED:

- SWD POINT LOCATION
- FLOOR JOIST LAYOUT + LINTELS
- ROOF VENTING LOCATIONS
- BAL 40 REQ./ WATER TANKS



13

NO.16 SUTLEJ COURT



DENOTES BUILDING ENVELOPE



DENOTES CUT



DENOTES FILL



DENOTES EXPOSED AGGREGATE CONCRETE AREA (sqm)



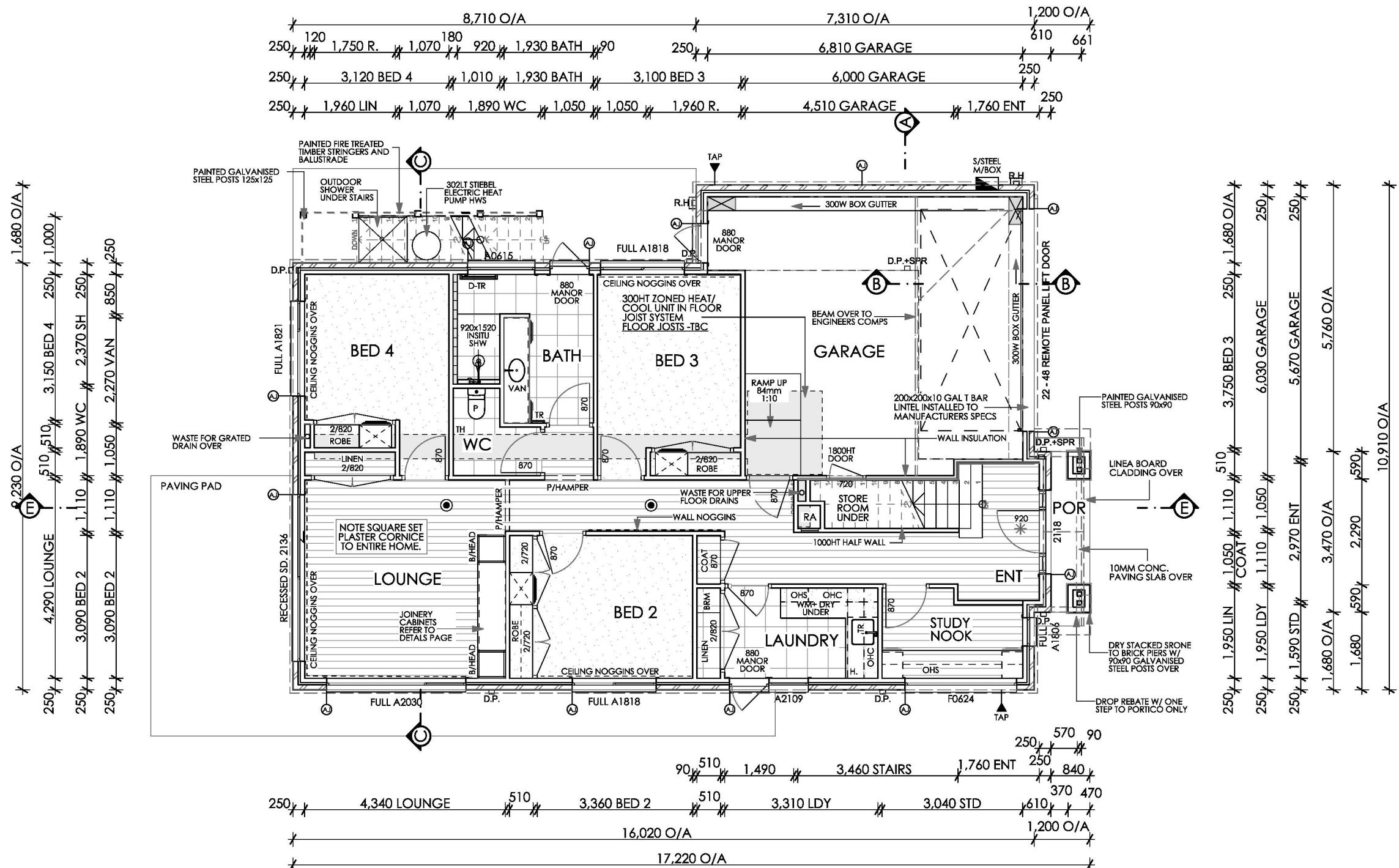
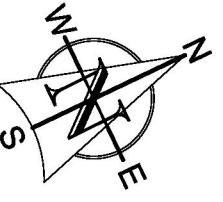
DENOTES CONCRETE	AREA (sqm)
CROSSOVER	10.59
DRIVEWAY	37.80
PATH	8.82
PATH	17.67
PATH	27.69

ALL INTERNAL DOORS 2040mm HIGH **FLUSH PANEL**
UNLESS MARKED WITH α 2340mm HIGH.

**NOTE: ALL INTERNAL CAVITY SLIDING
DOORS TO BE FULLY CONCEALED**

T DENOTES WINDOW TINT

* DENOTES DOUBLE GLAZING



FLOOR TILES	M2
ALFRESCO	21.83
BATHROOM	8.40
ENSUITE	5.94
LAUNDRY	6.17
POWDER	3.09
WC	2.83

DENOTES CARPET
57.22 sq.m

DENOTES VINYL PLANKING
sq.m

DENOTES POLISHED CONCRETE
sq.m

DENOTES TIMBER FLOORING
105.13 sq.m

	AREA (sqm)	AREA (sq's)
PORCH	2.91	0.31
ALFRESCO	21.98	2.37
GARAGE	41.47	4.46
FIRST FLOOR	112.05	12.06
GROUND FLOOR	119.74	12.89
TOTAL	298.15	32.09

PROPOSED RESIDENCE

Site Address:

House Title: CUSTOM
Specification: LIFESTYLE 25
Project ID:
Project Status: PLANNING ONLY
Drawn Date: 18-02-2025

Checked by:
Authorised by:
Consultant: A FENTON
Revised Date: 08-01-2026

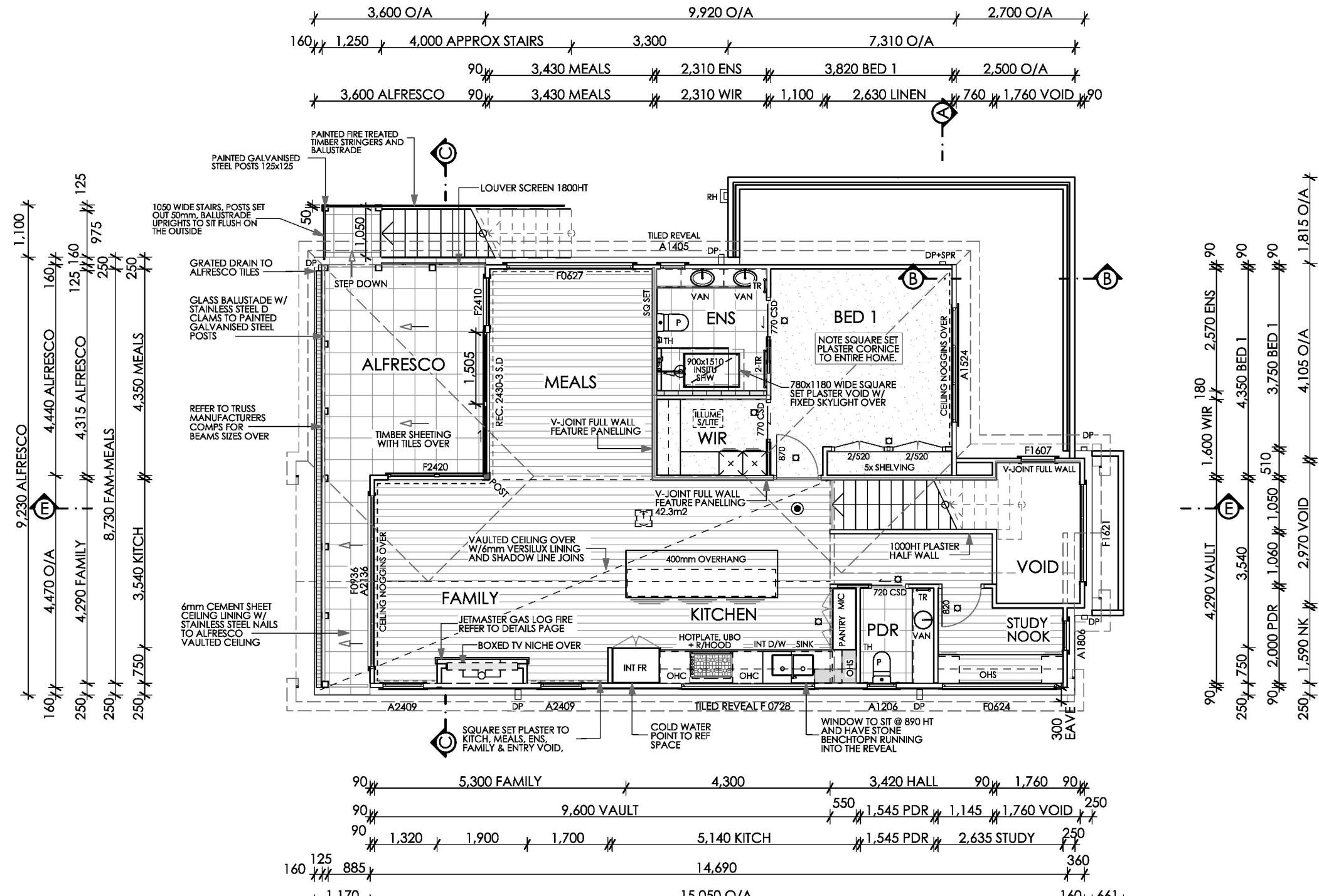
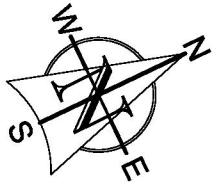
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GROUND FLOOR PLAN

Drawing Scale:
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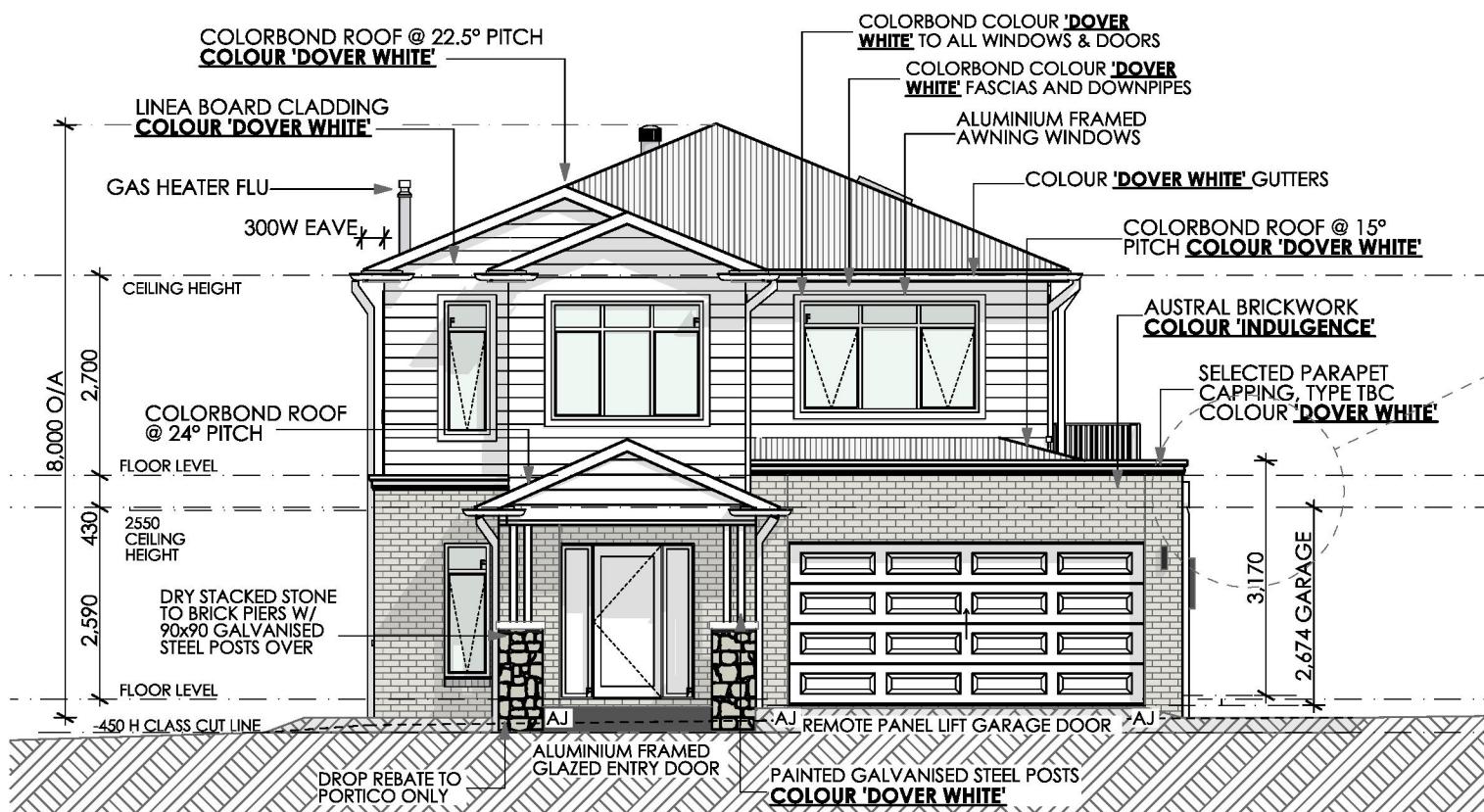
Drawing N
4

Sheet Size:
A3

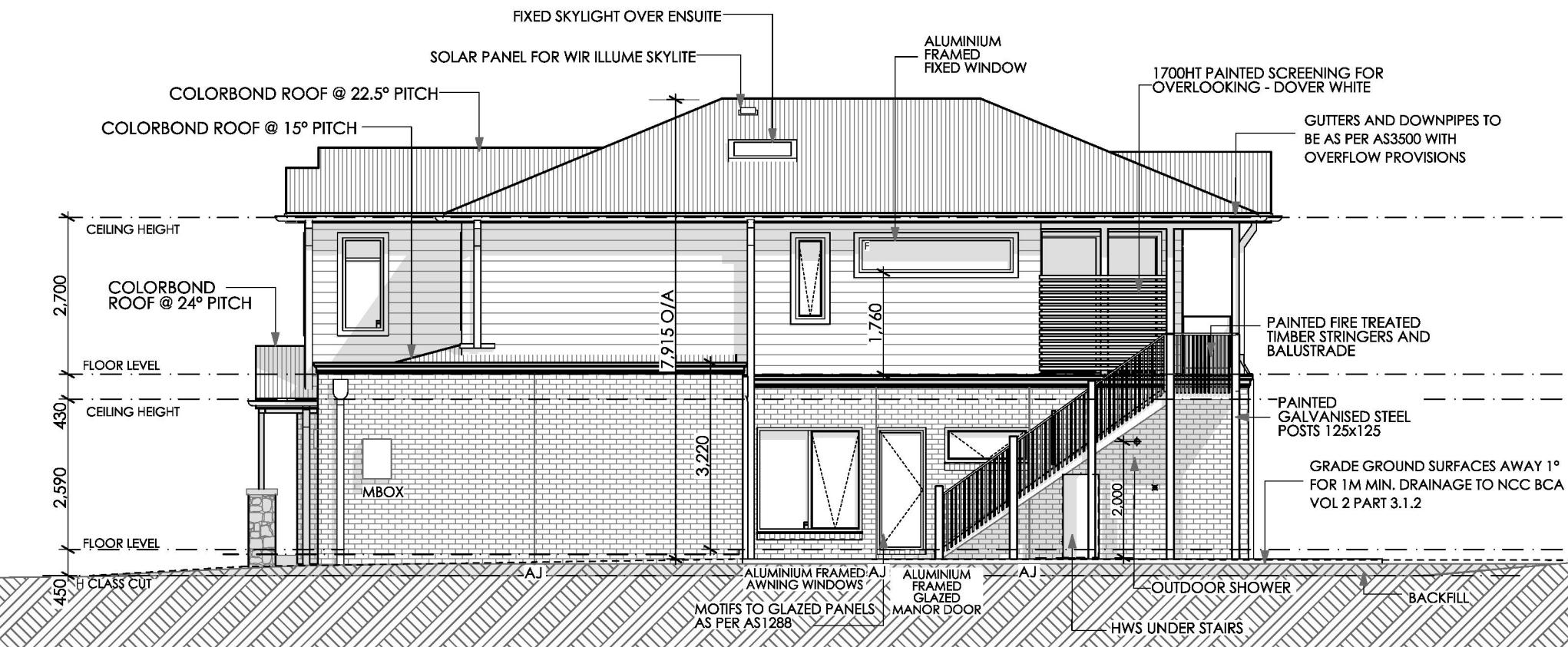
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	AREA (sqm)	AREA (sq's)
PORCH	2.91	0.31
ALFRESCO	21.98	2.37
GARAGE	41.47	4.46
FIRST FLOOR	112.05	12.06
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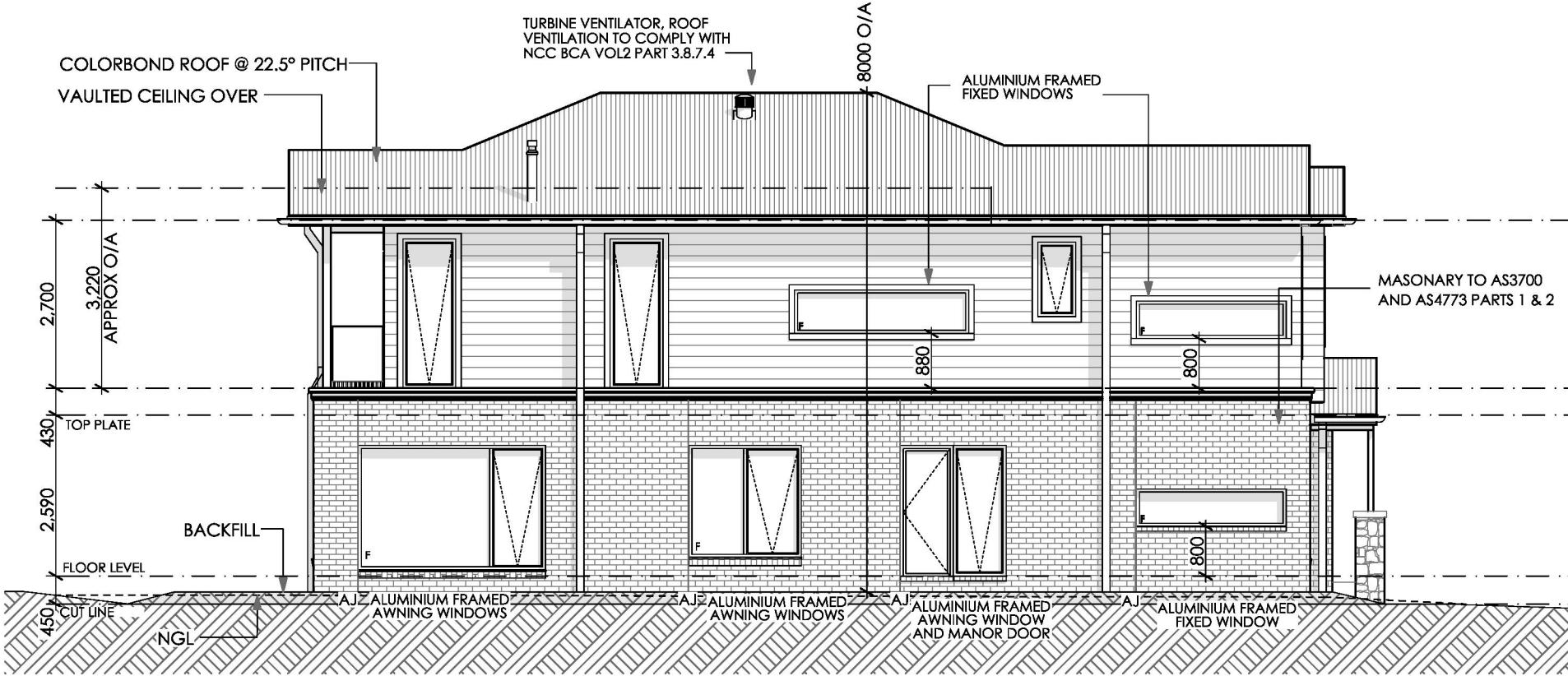
NORTH ELEVATION



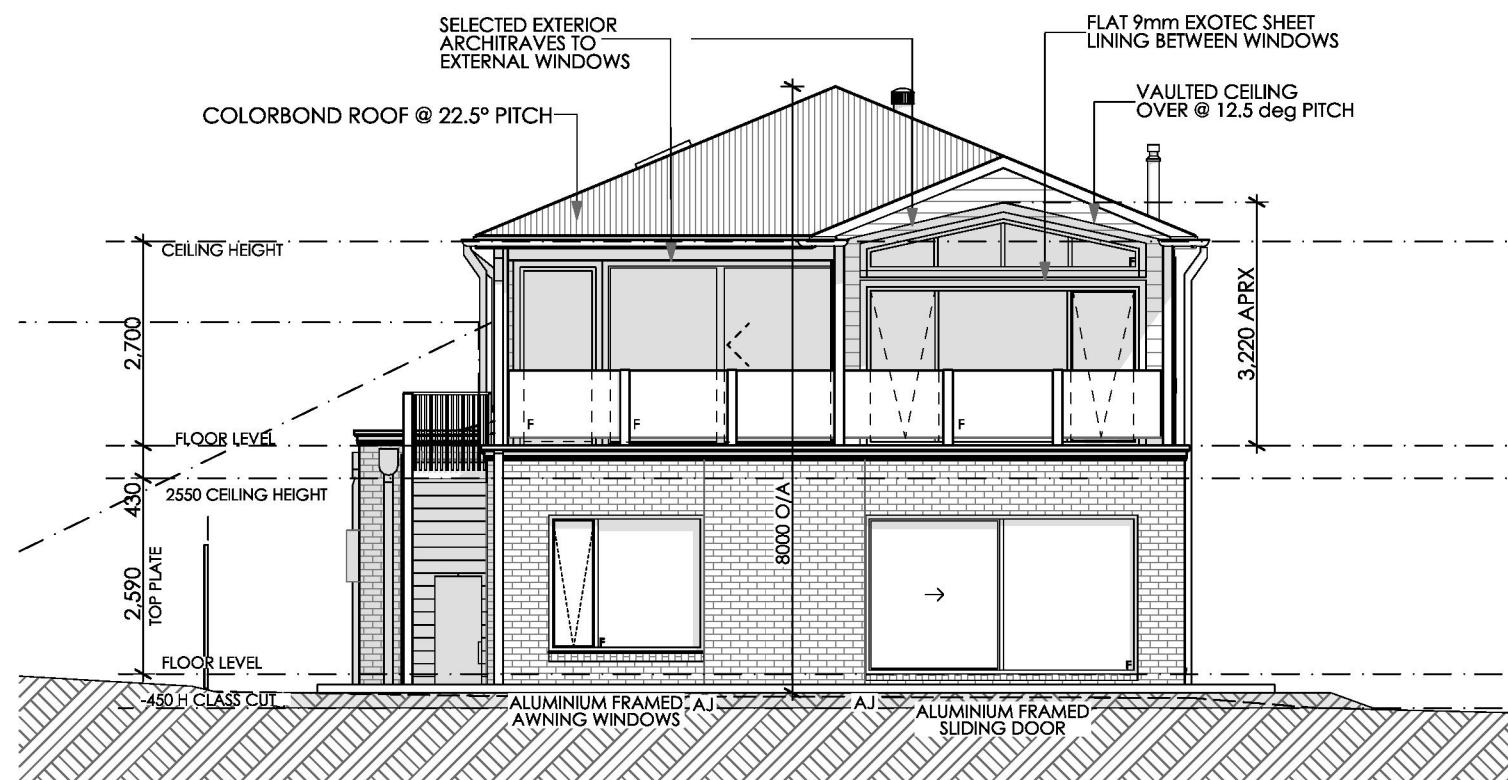
WEST ELEVATION



PROVIDE MASONARY ARTICULATION JOINTS IN ACCORDANCE WITH NCC & TECHNICAL NOTE 61.



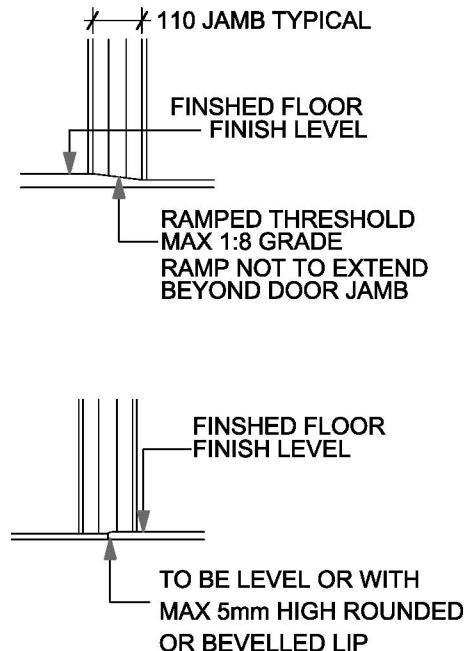
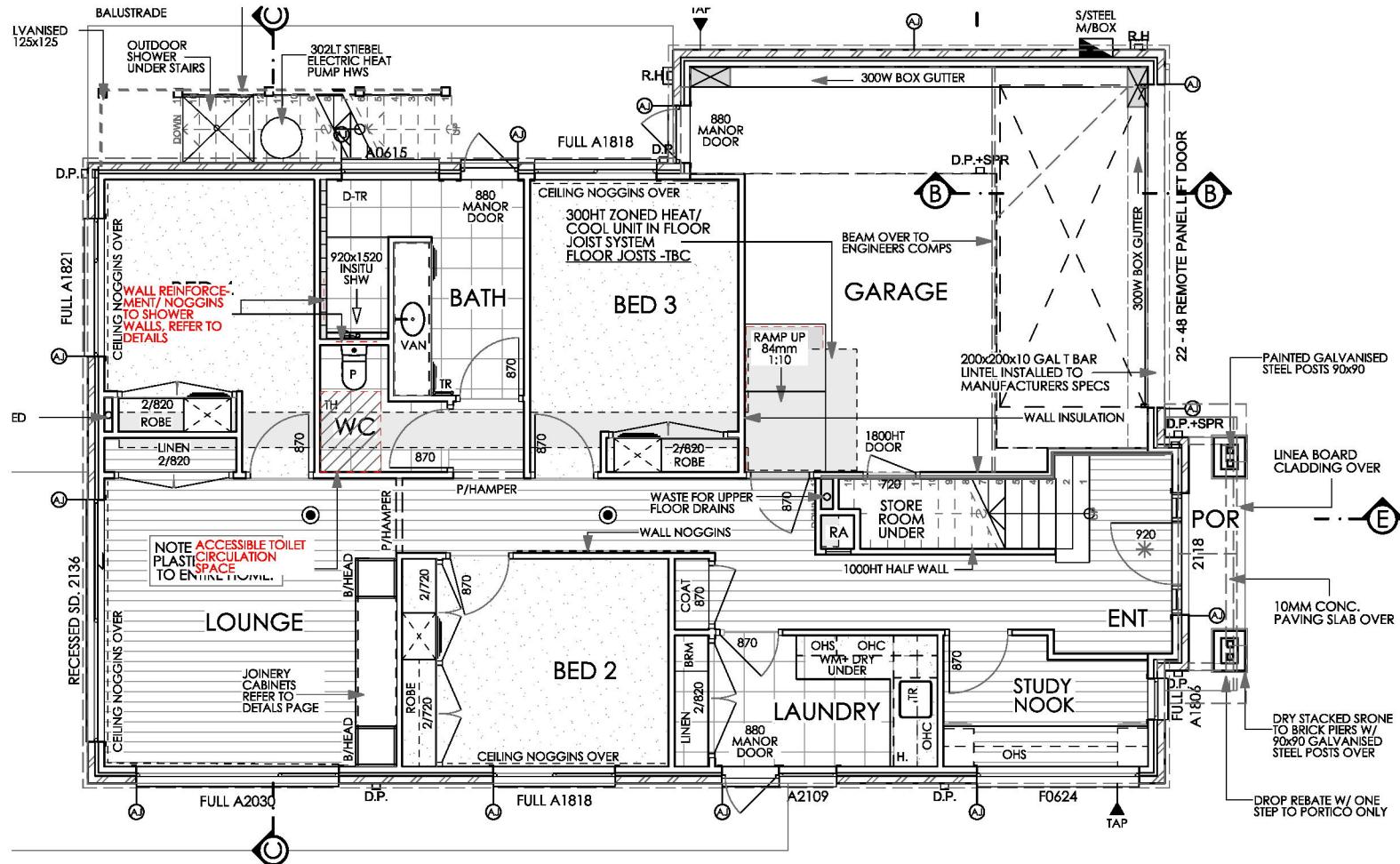
EAST ELEVATION



SOUTH ELEVATION

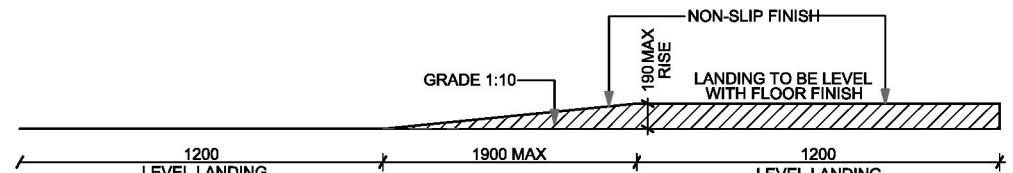
PROVIDE MASONRY ARTICULATION JOINTS IN ACCORDANCE WITH NCC & TECHNICAL NOTE 61.

ROOF VENTING LOCATIONS TBC

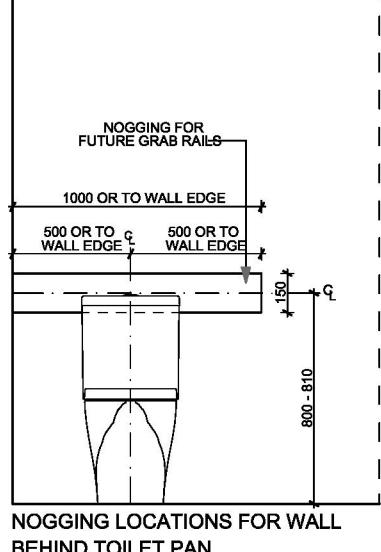


INTERNAL THRESHOLD DETAILS

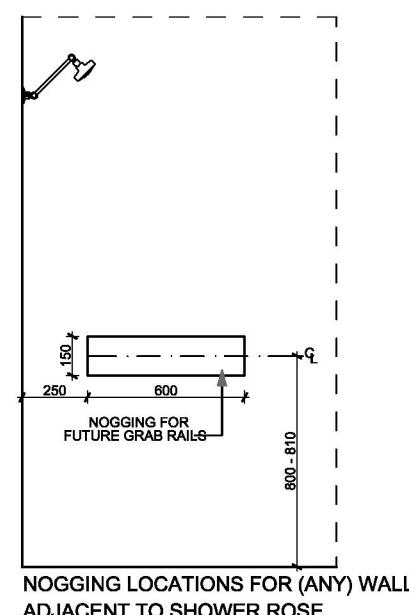
NOT TO SCALE
NOTE: REQUIRED TO ALL INTERNAL DOORWAYS THAT ARE SUBJECT 3.1 OF THE NCC LIVEABLE HOUSING DESIGN GUIDE



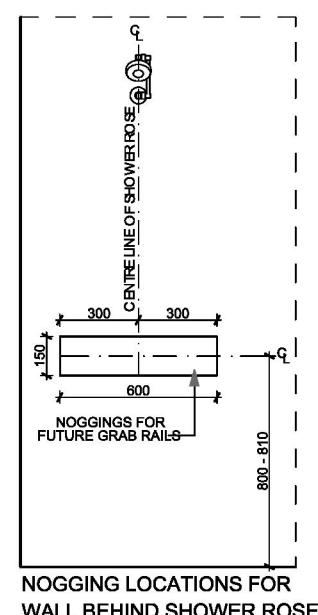
STEP RAMP SECTION DETAIL
NOT TO SCALE



TYPICAL NOGGING LOCATIONS
NOT TO SCALE



NOGGING LOCATIONS FOR (ANY) WALL
ADJACENT TO SHOWER ROSE



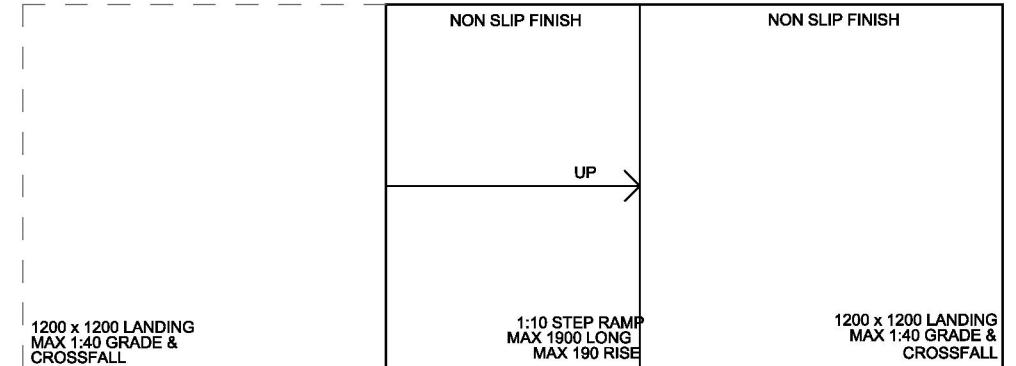
NOGGING LOCATIONS FOR
WALL BEHIND SHOWER ROSE

LOCATIONS FOR NOGGINGS FOR LIVEABLE HOUSING

PROVIDE NOGGINGS TO COMPLY WITH PART 6 OF THE NCC
LIVEABLE HOUSING DESIGN GUIDE AS PER ABOVE DETAILS FOR

- NOMINATED ACCESSIBLE SHOWER
- BATH IN ROOM WITH NOMINATED SHOWER (FREE STANDING BATH EXEMPT)
- NOMINATED PAN

NOTES: - FREE STANDING BATHS ARE EXEMPT
- IF WALL TERMINATES OR THERE IS AN OPENING WITHIN NOMINATED
 NOGGING AREA PROVIDE NOGGINGS TO REMAINDER OF AREA ONLY
- TAPS, RECESS, SOAP HOLDERS AND THE LIKE MAY BE LOCATED WITHIN
 THE POSITIONS DESIGNED FOR WALL REINFORCING



STEP RAMP PLAN VIEW
NOT TO SCALE

RESCODE REQUIREMENTS

54-03.1 MINIMUM STREET SETBACK

MAXIMUM STREET SETBACK PERMISSIBLE 10.0m
PROPOSED FRONT SETBACK 6.0m

54-03.2 55B2-2 BUILDING HEIGHT

MAXIMUM OVERALL HEIGHT OF RESIDENCE 7.84m

54-03.3 SITE COVERAGE

MAXIMUM SITE COVERAGE (60% OF BLOCK) 288.00sq.m
TOTAL BUILDING AREA 164.12sq.m
ACTUAL SITE COVERAGE AS A % 34.19%

54-03.4 PERMEABILITY

MIN 20% PERMEABLE SURFACES 96.00sq.m
SITE AREA COVERED BY PERMEABLE SURFACES 91.23sq.m PAVING
255.35sq.m 53.19% IMPERMABLE

CAR PARKING

REFER TO DRAWING FOR PROPOSED CAR SPACE LOCATIONS AND SIZES

CAR PARKING FOR RESIDENTS TO BE PROVIDED AS FOLLOWS:
1 CAR SPACE FOR EACH 1 OR 2 BEDROOM DWELLING.
2 SPACES FOR EACH 3 OR MORE BEDROOM DWELLING WITH 1 SPACE
UNDER COVER.
-FOR SPACES PROVIDED IN A GARAGE, CARPORT OR OTHERWISE
CONSTRAINED BY WALLS, A DOUBLE SPACE MAY BE 5.5M WIDE.

54-04.2 55B2-4 WALLS ON BOUNDARIES

10 METERS PLUS 25% OF REMAINING BDY LENGTH
OR LENGTH OF EXISTING NEIGHBORING WALLS 0.00sq.m

54-04.5 OVERSHADING

THE AREA OF SECLUDED PRIVATE OPEN SPACE THAT IS NOT OVERSHADOWED
BY THE NEW DEVELOPMENT IS GREATER THAN 75 PER CENT, OR 40 SQUARE
METRES WITH A MINIMUM DIMENSION OF 3 METRES, WHICHEVER IS THE LESSER
AREA, FOR A MINIMUM OF FIVE HOURS BETWEEN 9 AM AND 3 PM ON 22
SEPTEMBER.

54-04.6 OVERLOOKING

OVERLOOKING DOES NOT APPLY WHERE THERE IS A VISUAL BARRIER AT
LEAST 1.7m HIGH & THE FLOOR LEVEL IS LESS THAN 0.8m ABOVE GROUND LEVEL.

54-05.1 DAYLIGHT TO HABITABLE ROOMS

REFER TO DRAWING FOR PROPOSED SETBACKS
AN OUTDOOR SPACE CLEAR TO THE SKY OR A LIGHT COURT WITH A MINIMUM AREA OF 3
SQUARE METRES AND MINIMUM DIMENSION OF 1 METRE CLEAR TO THE SKY, NOT
INCLUDING LAND ON AN ABUTTING LOT; OR
-A VERANDAH PROVIDED IT IS OPEN FOR AT LEAST ONE THIRD OF ITS PERIMETER; OR
-A CARPORT PROVIDED IT HAS TWO OR MORE OPEN SIDES AND IS OPEN FOR AT LEAST
ONE THIRD OF ITS PERIMETER.

54-05.2 PRIVATE OPEN SPACE

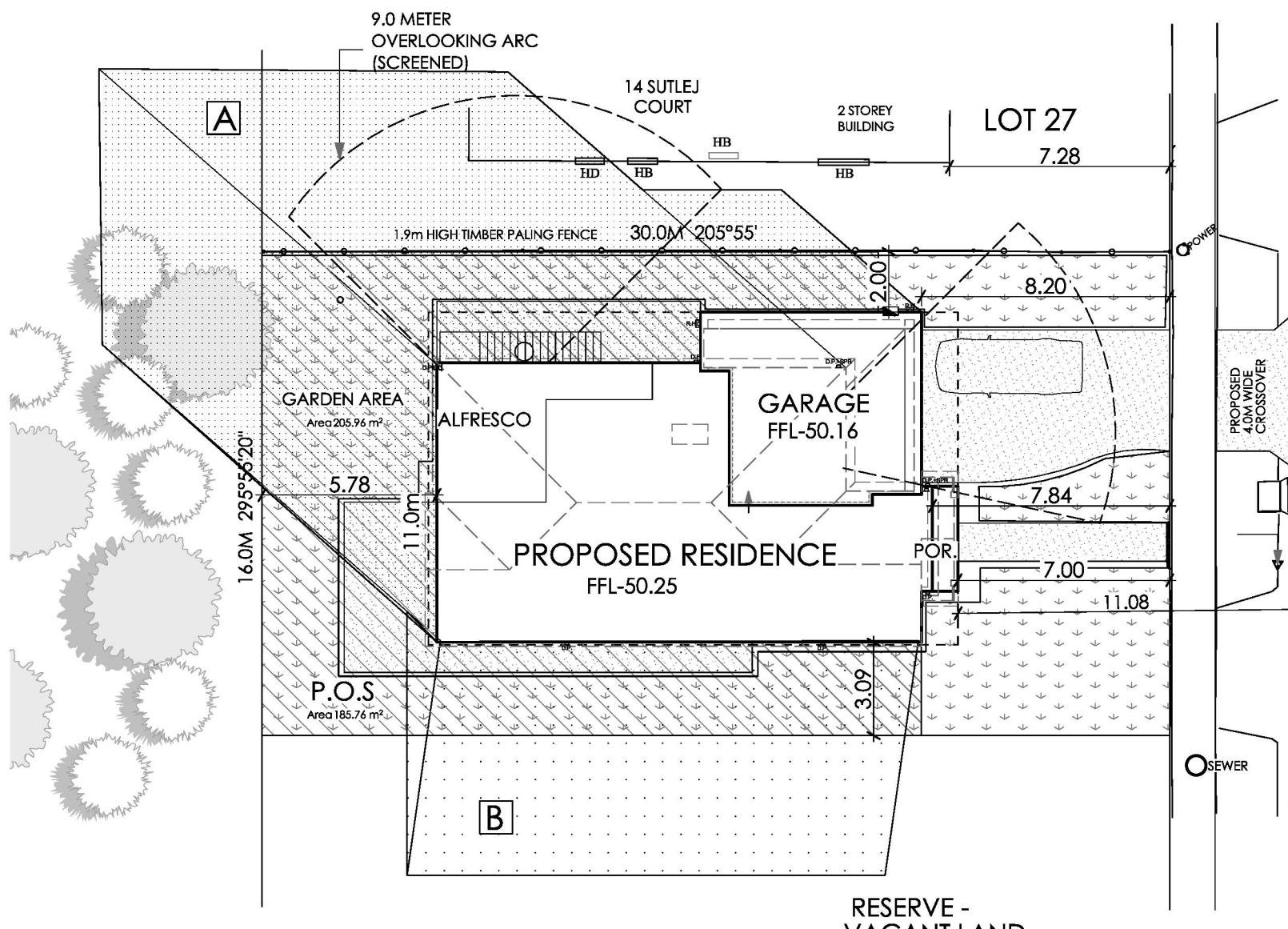
A DWELLING SHOULD HAVE PRIVATE OPEN SPACE
OF AT LEAST 80 SQUARE METERS OR 20% OF THE
LOT AREA, WHICHEVER IS LESS, BUT NOT LESS THAN
40 SQUARE METERS.



96.00 sq.m 20%
TOTAL 185.76sq.m

54-05.3 55B-3.6 SOLAR ACCESS TO POS

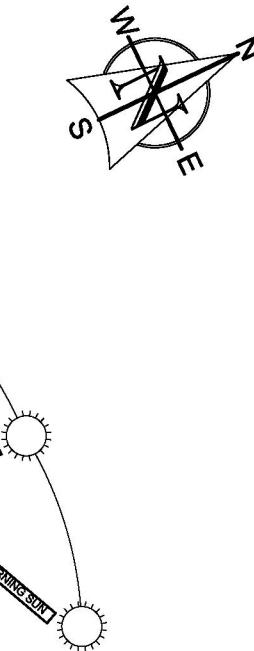
THE SOUTHERN BOUNDARY OF SECLUDED PRIVATE OPEN SPACE IS
SET BACK FROM ANY WALL ON THE NORTH OF THE SPACE AT LEAST
($2+0.9H$) METRES, WHERE 'H' IS THE HEIGHT OF THE WALL.
(REFER TO SETBACKS)



A 9.0AM SHADOW CAST
MAR.21 - SEPT. 23 (EQUINONX)

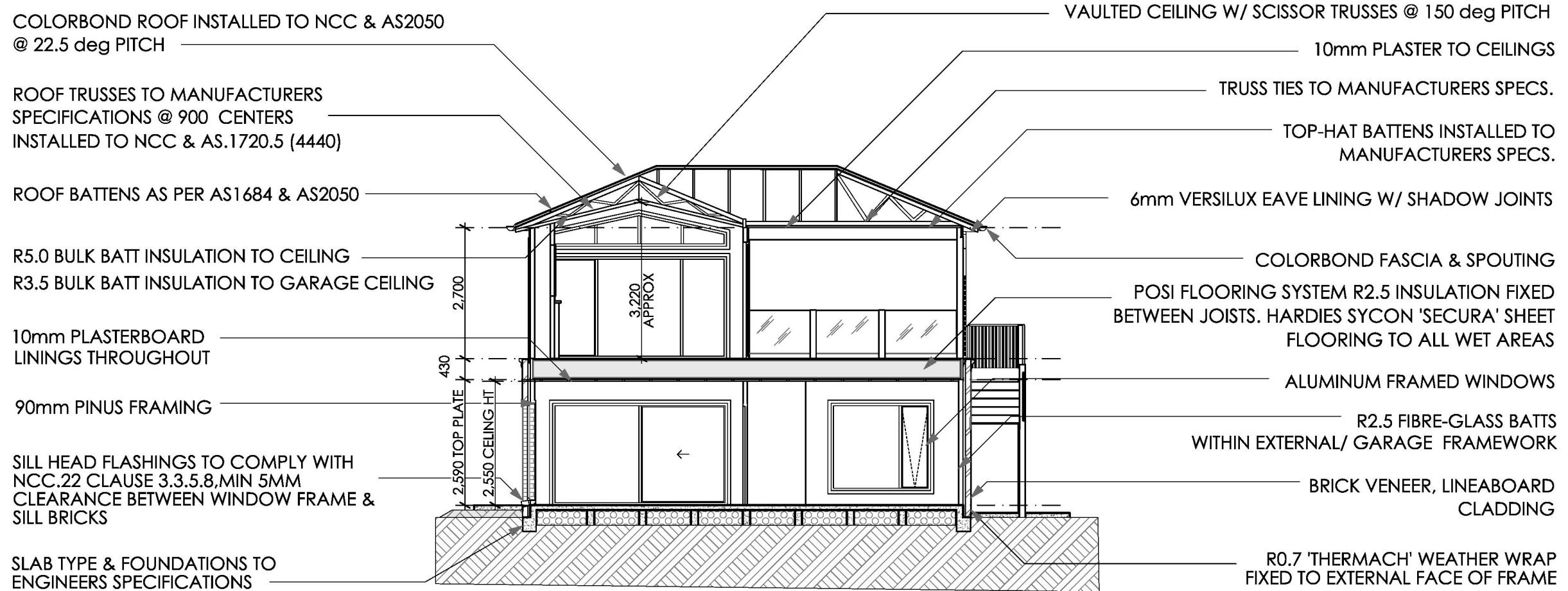
B 3.0PM SHADOW CAST
MAR.21 - SEPT. 23 (EQUINONX)

NO.16 SUTLEJ COURT



DENOTES EXPOSED AGGREGATE CONCRETE	AREA (sqm)
CROSSOVER	10.59
DRIVEWAY	37.80
PATH	8.82
PATH	17.67
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DENOTES CONCRETE	AREA (sqm)
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BAL 40

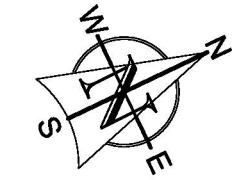
WINDOW LINTEL SCHEDULE - SHEET ROOF

TRUSS SPAN (mm)	OPENING WIDTH (mm)	SEASONED TIMBER		TRUSS SPAN (mm)	OPENING WIDTH (mm)	SEASONED TIMBER		TRUSS SPAN (mm)	OPENING WIDTH (mm)	SEASONED TIMBER	
		F17	F27			F17	F27			F17	F27
UP TO 3000	900	90 x 35	90 x 35	3000 TO 6000	900	90 x 35	90 x 35	6000 TO 9000	900	90 x 35	90 x 35
	1200	90 x 35	90 x 35		1200	90 x 35	90 x 35		1200	90 x 45	90 x 35
	1500	90 x 35	90 x 35		1500	2/90 x 35	90 x 45		1500	2/90 x 45	2/90 x 35
	1800	90 x 45	90 x 35		1800	2/90 x 45	2/90 x 35		1800	140 x 35	2/90 x 45
	2100	2/90 x 35	90 x 45		2100	2/120 x 35	2/120 x 35		2100	2/120 x 45	2/120 x 35
	2400	120 x 45	2/90 x 35		2400	2/120 x 45	2/120 x 35		2400	2/140 x 45	2/120 x 45
	3000	2/140 x 35	2/120 x 35		3000	2/170 x 35	2/140 x 45		3000	2/170 x 45	2/170 x 35
	3600	2/190 x 35	2/170 x 35		3600	2/240 x 35	2/190 x 45		3600	2/240 x 35	2/240 x 45

Note: All new homes in bushfire prone areas to be constructed to a minimum bushfire attack level (BAL) of 12.5. in accordance with Australian Standards® AS3959-2009

NOTES:

1. LINTELS SUPPORTING CONCENTRATED LOADS SHALL BE DESIGNED IN ACCORDANCE WITH AS- 1684.
2. MULTIPLE MEMBERS SHALL BE VERTICALLY NAIL-LAMINATED
3. LINTELS IN SKILLION OR GABLE END WALLS, NOT SUPPORTING ROOF LOADS, SHALL BE DETERMINED AS PER AS. 1684.
4. MINIMUM BEARING LENGTH AT SUPPORTS SHALL BE 35MM
5. ALL TIMBER FRAMING TO BE IN ACCORDANCE WITH AS1684 & MANUFACTURERS DESIGN FOR N1 DESIGN WIND SPEED
6. MASONRY LINTELS TO BE AS PER NCC22, AS.4773.1, AS.4773.2 & AS.3700 ABCB HOUSING PROVISIONS PART 5.2



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NO.16 SUTLEJ COURT

