



1 North Elevation View



4 North-East Corner View of Garage



2 North-West Corner View



Nearmap Aerial View



3 South-West Corner View

DRAWING INDEX

TP01	COVER PAGE
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TP03	GROUND FLOOR PLAN
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TP05	ELEVATIONS & FENCE DETAILS
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TP07	Compliance Plan – Garden Area, Permeability & Private Open Space (B28)
TP08	SCHEDULES & BREEZE PATH DIAGRAM
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New House 14 Robertson Street Peterborough

FOR TOWN PLANNING

REV.	DATE	COMMENTS	REV.	DATE	COMMENTS
A	04/12/2025	FOR SUBMISSION TO COUNCIL			
B	16/01/2026	COUNCIL RFI REVISIONS			

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PROJECT ADDRESS
New Second Dwelling at
14 Robertson Street, Peterborough VIC 3270



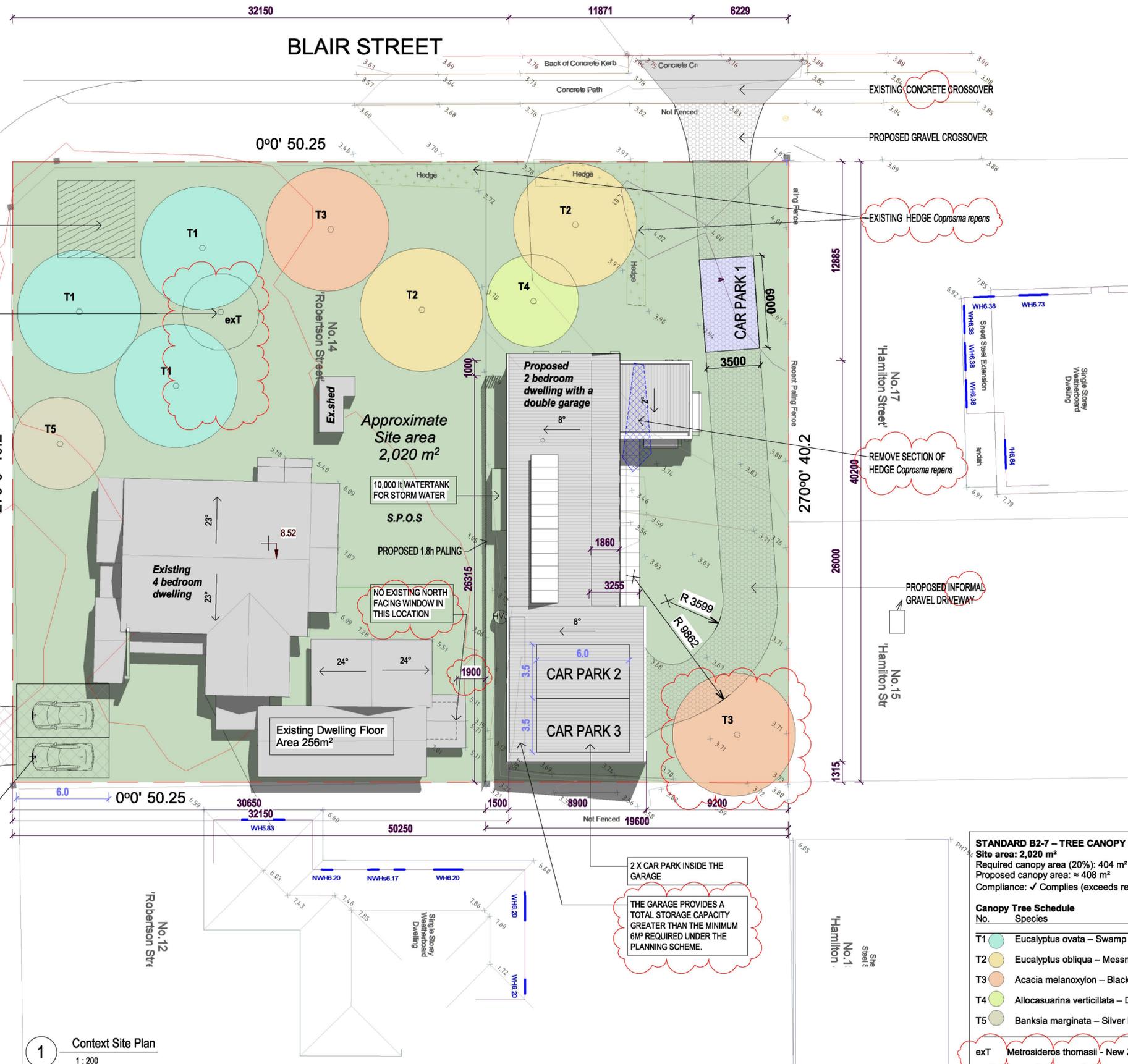
SHEET NAME
COVER PAGE

SHEET No.
TP01

SCALE
1 : 25(A2)

DATE
07 February 2025

REV.
B



PROPOSED 25m² WATER GARDEN FOR FLOW MANAGEMENT & POLLUTANT LOAD REDUCTION

EXISTING SHRUB METROSIDEROS THOMASII (New Zealand Christmas Bush) TO BE RETAINED

ROBERTSON STREET

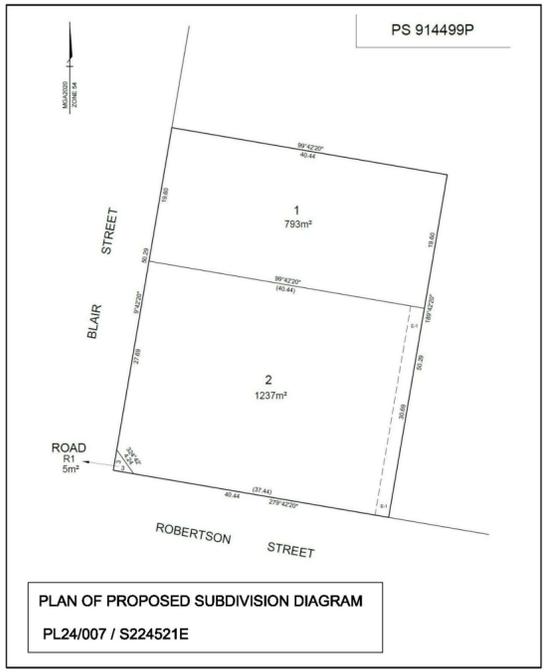
BLAIR STREET

EXISTING HEDGE Coprosma repens

REMOVE SECTION OF HEDGE Coprosma repens

PROPOSED INFORMAL GRAVEL DRIVEWAY

2 X CAR PARK INSIDE THE GARAGE
THE GARAGE PROVIDES A TOTAL STORAGE CAPACITY GREATER THAN THE MINIMUM 6M² REQUIRED UNDER THE PLANNING SCHEME.



CLAUSE 52.06 CAR PARKING
 USE: DWELLING
 REQUIREMENT 1 CAR PARKING SPACE TO EACH 2 BEDROOM DWELLING
 = 3 (6 x 3.5M SIZE) PROPOSED CAR PARKS FOR 2 BEDROOM DWELLING
 = 3 CAR SPACES PROVIDED - COMPLIANCE
 2 EXISTING CAR PARKING SPACES RETAINED - COMPLIANCE
 1 - (6 x 3.5M SIZE) CAR PARKING SPACE
 1 - (4.9 x 2.6M SIZE) CAR PARKING SPACE

Standard B2-7 is a Victorian residential development standard that sets requirements for tree canopy cover to promote neighbourhood character, biodiversity, and reduce the urban heat island effect. It mandates a minimum canopy cover of 10% of the site area for sites up to (1000m²) and 20% for sites over (1000m²)

TREE MIX AND CANOPY AREA - SUMMARY
 Proposed mix (all indigenous / recommended for Peterborough):
Type A (large canopy trees, 8 m Ø, ~50 m² canopy area each):

- 3 x Eucalyptus ovata (Swamp Gum)
- 2 x Eucalyptus obliqua (Messmate Stringybark)
- 2 x Acacia melanoxylon (Blackwood, nominated as Type A with 8 m Ø canopy)

Type B (medium canopy trees, 6 m Ø, ~28 m² canopy area each):

- 1 x Allocasuarina verticillata (Drooping Sheoak)
- 1 x Banksia marginata (Silver Banksia)

STANDARD B2-7 - TREE CANOPY SCHEDULE
 Site area: 2,020 m²
 Required canopy area (20%): 404 m²
 Proposed canopy area: ≈ 408 m²
 Compliance: ✓ Complies (exceeds requirement by approx. 4 m²) NOTE: EXISTING TREE EXCLUDED FROM CALCULATION.

Canopy Tree Schedule No.	Species	Type	Min. Canopy Ø (m)	Est. Canopy Area (m ²)	Qty	Subtotal (m ²)
T1	Eucalyptus ovata - Swamp Gum	A	8	50	3	150
T2	Eucalyptus obliqua - Messmate Stringybark	A	8	50	2	100
T3	Acacia melanoxylon - Blackwood	A	8	50	2	100
T4	Allocasuarina verticillata - Drooping Sheoak	B	6	28	1	28
T5	Banksia marginata - Silver Banksia	B	6	28	1	28
						≈ 406 m ²
exT	Metrosideros thomasi - New Zealand Christmas Tree	exT	5	19.6	1	

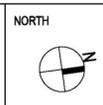
1 Context Site Plan
1:200

FOR TOWN PLANNING

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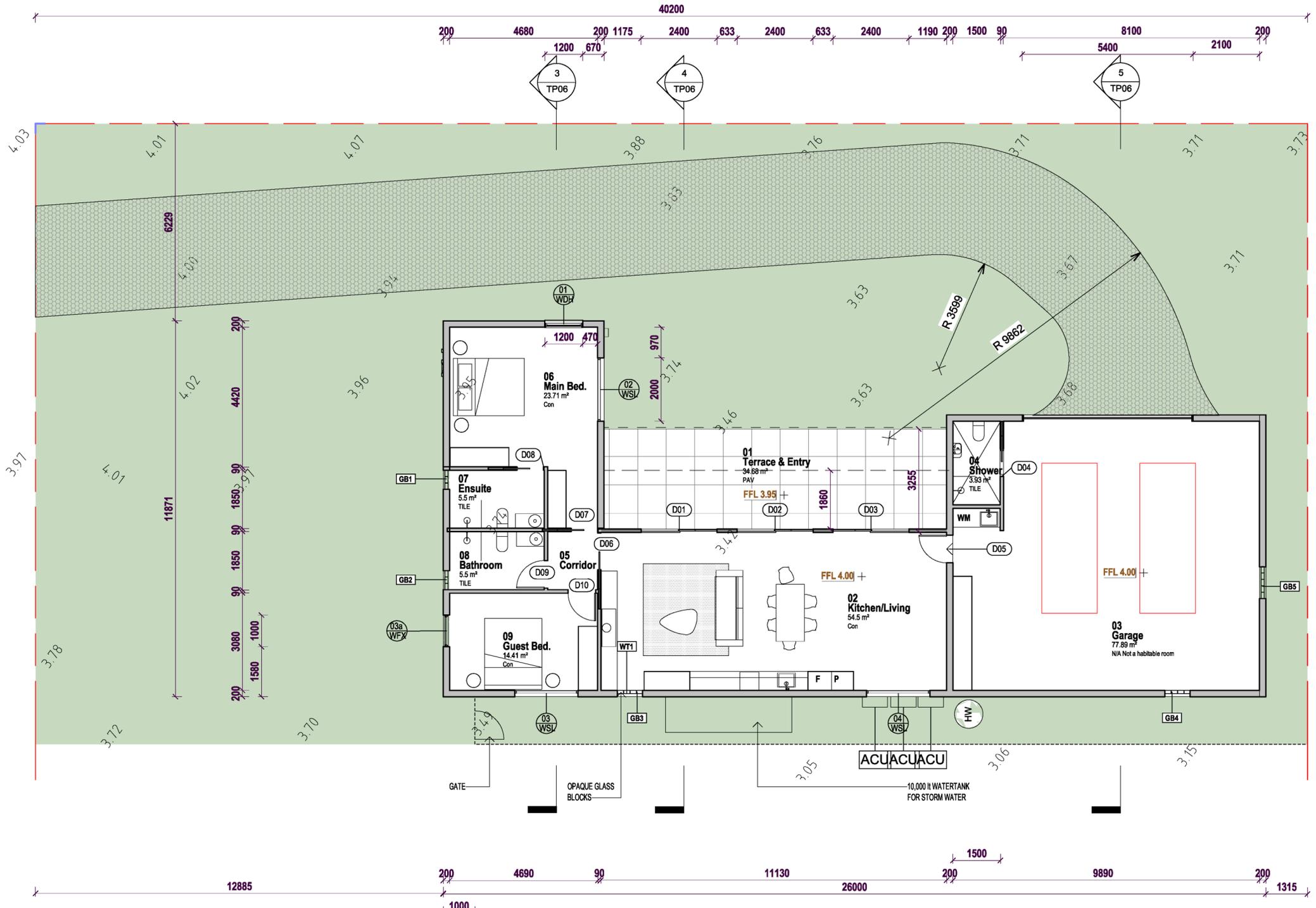
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 14 Robertson Street, Peterborough VIC 3270



SHEET NAME
SITE PLAN & LANDSCAPE PLAN

SHEET No.
TP02
 SCALE
 As Indicated(A2)
 DATE
 07 February 2025
 REV.
B

16/01/2026 12:53:25 PM



1 Ground Floor
1:100

FOR TOWN PLANNING

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SHEET NAME
GROUND FLOOR PLAN

SCALE
1:100(A2)

DATE
07 February 2025

SHEET No.
TP03

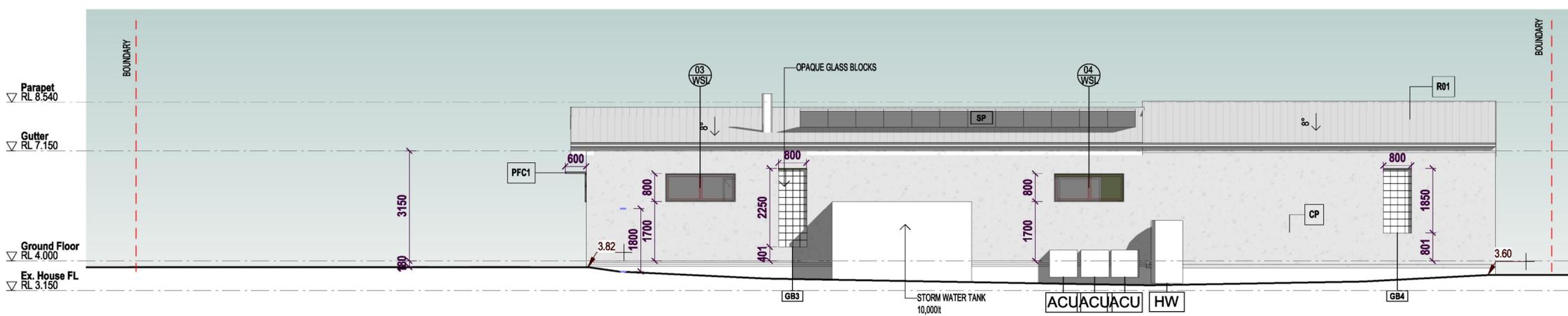
REV.
B



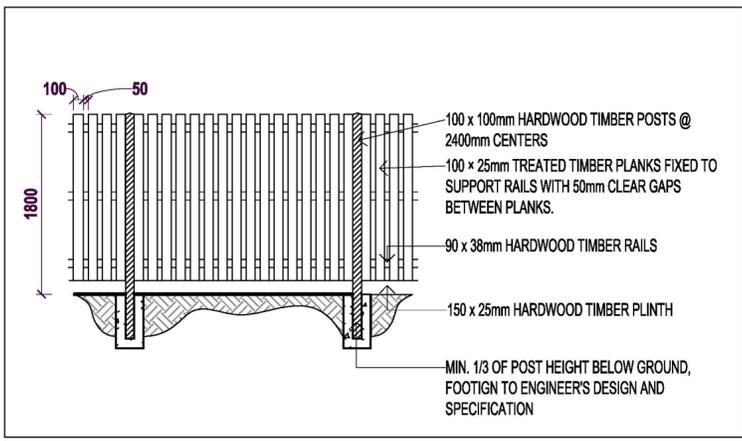
1 North Elevation
1 : 100

CANOPY SOLAR SHADING - NORTH-FACING WINDOW
REQUIRED PROJECTION = 0.25 x WINDOW HEIGHT (H)
ACTUAL PROJECTION = 450mm (MIN.)

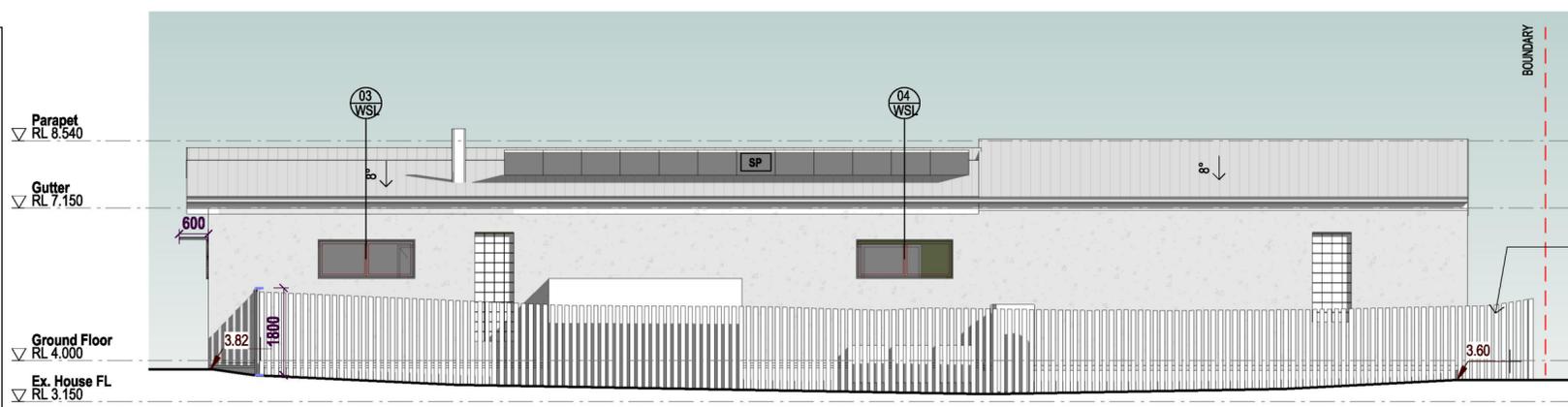
- MATERIALS & ELEMENTS KEY**
- [GB] GLASS BLOCK
 - [SP] SOLAR PANEL, INDICATIVE LOCATION
 - jt EXPRESSED JOINT IN CONCRETE PANEL
 - [PA1] CEMENT SHEET PAINTED FINISH P1
 - [PA2] CEMENT SHEET PAINTED FINISH P2
 - [PA3] CEMENT SHEET PAINTED FINISH P3
 - [TLB] FEATURE TIMBER LINING BOARD
 - [CP] CONCRETE PANEL
 - [R01] METAL SHEET ROOF
 - [PAV] PAVER
 - [PCF1] POWDER COATED FINISH 1
 - [PCF2] POWDER COATED FINISH 2
 - ACU AIRCONDITIONING UNIT
 - HWU HOT WATER UNIT



2 South Elevation
1 : 100



3 Fence Detail
1 : 50



4 Fence Elevation
1 : 100

FOR TOWN PLANNING

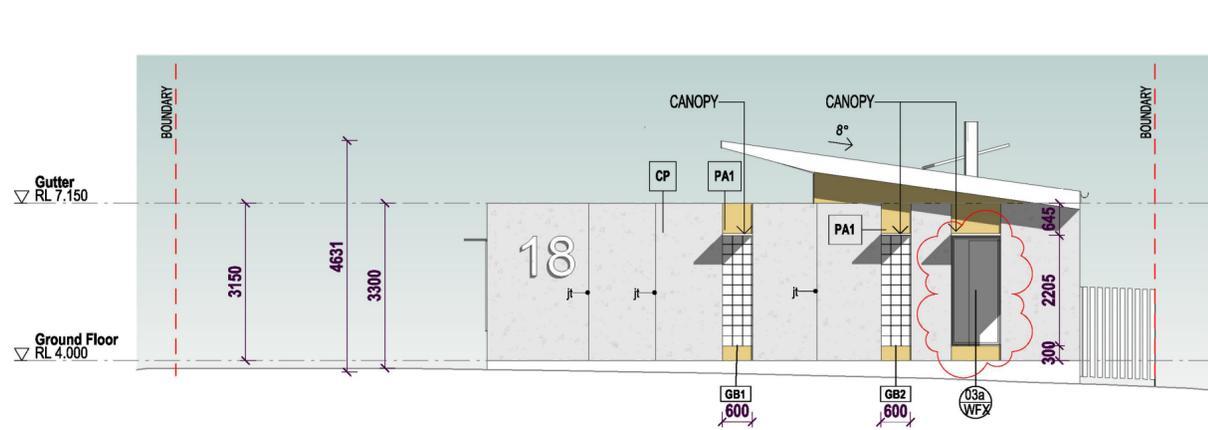
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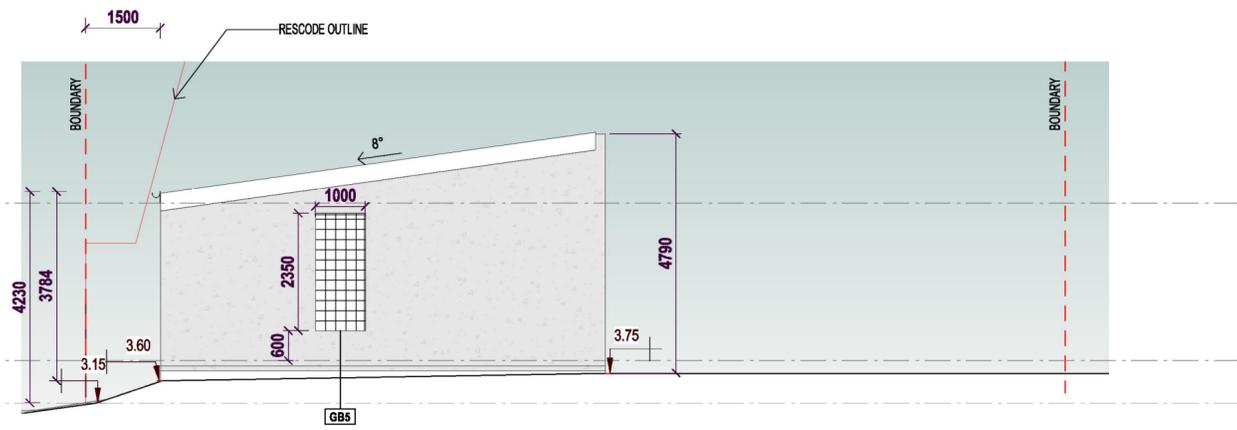
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NORTH	SHEET NAME ELEVATIONS & FENCE DETAILS		SHEET No. TP05
	SCALE As Indicated(A2)	DATE 07 February 2025	REV. B

16/01/2026 12:53:42 PM



1 West Elevation
1:100



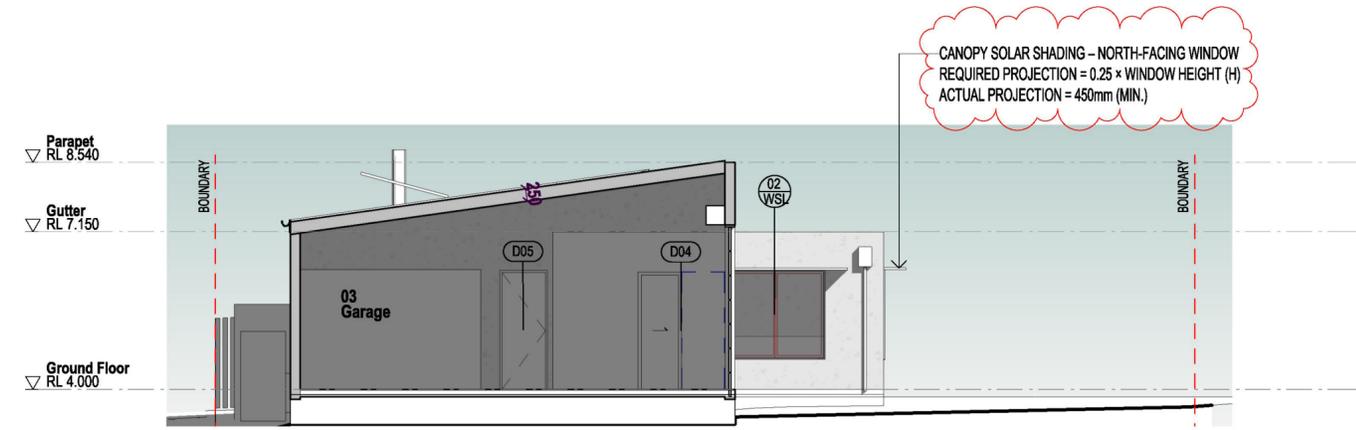
2 East Elevation
1:100



3 Section A-A
1:100



4 Section B-B
1:100



5 Section C-C
1:100

GLASS BLOCK SCHEDULE

No.	Room No.	Location	Size width x height = m ²
GB1	07	Ensuite	600 x 2250 = 1.35m ²
GB2	08	Bathroom	600 x 2250 = 1.35m ²
GB3	02	Kitchen Living	800 x 2250 = 1.80m ²
GB4	03	Garage	800 x 1850 = 1.35m ²
GB5	03	Garage	1000 x 2350 = 2.35m ²

MATERIALS & ELEMENTS KEY

- GB GLASS BLOCK
- SP SOLAR PANEL INDICATIVE LOCATION
- jt EXPRESSED JOINT IN CONCRETE PANEL
- PA1 - CEMENT SHEET PAINTED FINISH P1
- PA2 - CEMENT SHEET PAINTED FINISH P2
- PA3 - CEMENT SHEET PAINTED FINISH P3
- TLB - FEATURE TIMBER LINING BOARD
- CP - CONCRETE PANEL
- R01 - MEATL SHEET ROOF
- PAV - PAVER
- PCF1 - POWDER COATED FINISH 1
- PCF2 - POWDER COATED FINISH 2
- ACU** AIRCONDITIONING UNIT
- HWU** HOT WATER UNIT

FOR TOWN PLANNING

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NORTH

SHEET NAME
ELEVATIONS SECTIONS

SHEET No.

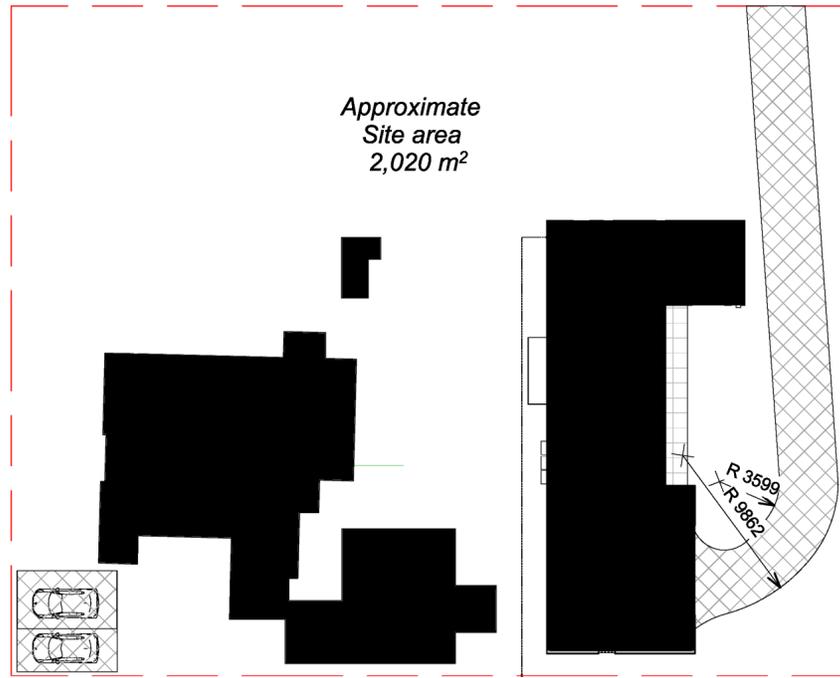
TP06

SCALE
As
Indicated(A2)

DATE
07 February 2025

REV.

B



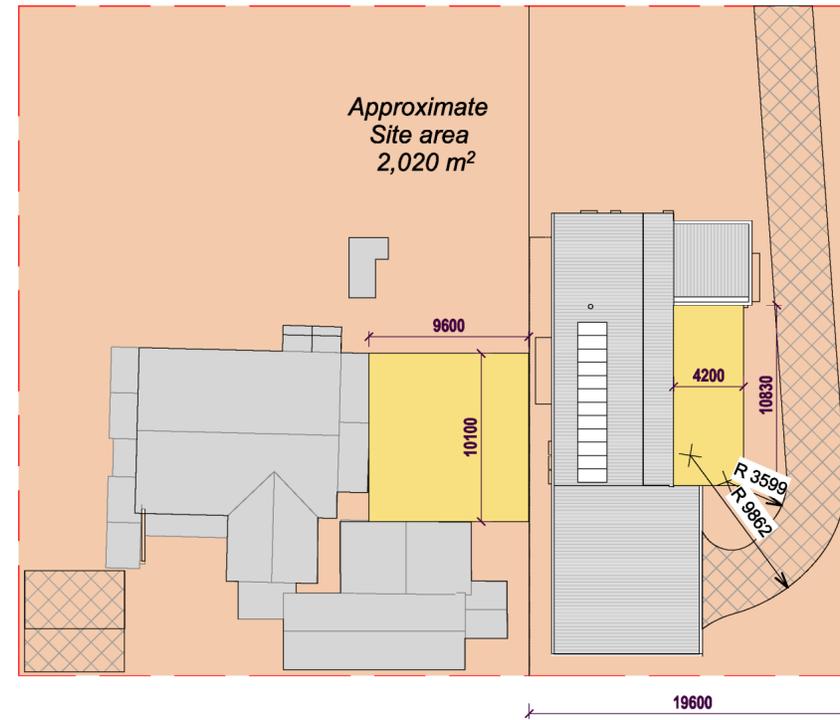
LEGEND

- SITE COVERAGE
- EXCLUDED AREAS
- ▨ DRIVEWAY & CAR PARKING

SITE COVERAGE
 EXISTING DWELLING 256M²
 EXISTING SHED 7M²
 NEW DWELLING 226M²
TOTAL 489M²
 (24.2%)

**COMPLIANCE WITH SITE COVERAGE
 OBJECTIVE STANDARD B2-5**

1 Site Coverage
 1:300

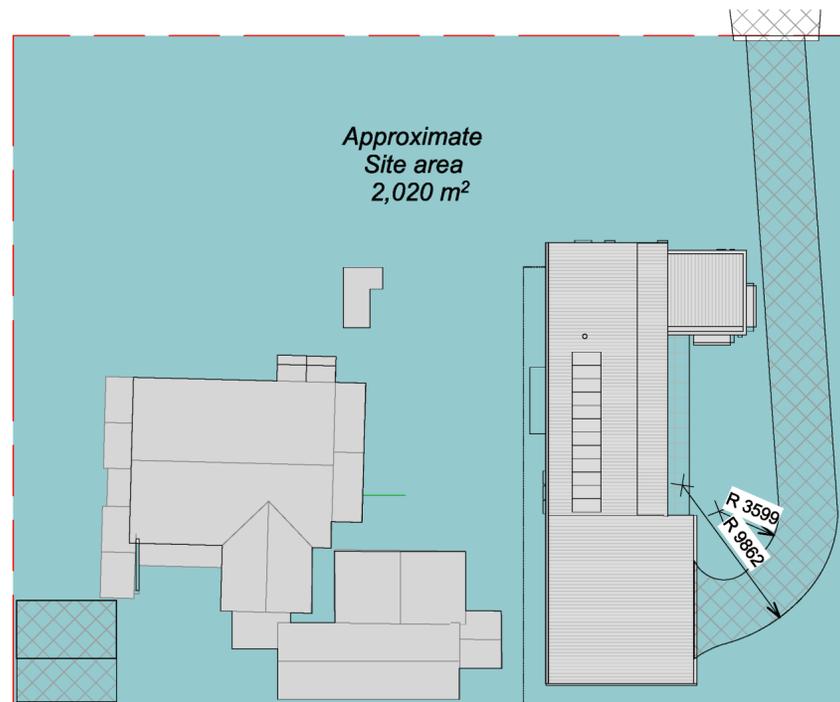


LEGEND

- PRIVATE OPEN SPACE (P.O.S.)
- SECLUDED PRIVATE OPEN SPACE (S.P.O.S.)
- ▨ DRIVEWAY & CAR PARKING

P.O.S 1,531M²
 S.P.O.S 142M²
**COMPLIANCE WITH PRIVATE OPEN SPACE
 OBJECTIVES STANDARD B3-5**

2 Private Open Space
 1:300



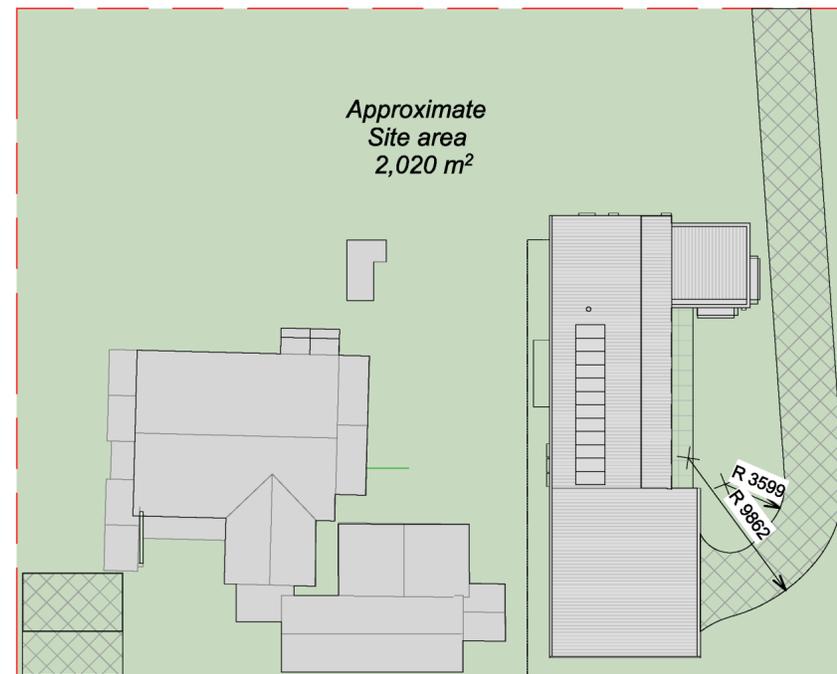
LEGEND

- PERMEABLE SURFACES
- IMPERMEABLE SURFACES
- ▨ PERMEABLE SURFACE DRIVEWAY/CARPARKS

PERMEABILITY = 1,494M² (73.9%)

**COMPLIANCE WITH PERMEABILITY
 AND STORMWATER MANAGEMENT
 OBJECTIVE STANDARD B5-1**

3 Permeability
 1:300



LEGEND

- GARDEN AREA
- EXCLUDED AREA
- ▨ DRIVEWAY & CAR PARKING

GARDEN AREA EXCLUDING DRIVEWAY/CAR
 PARKING IS; (1,494M² - 179M²) = 1,315M² (65.09%)

**COMPLIANCE WITH GARDEN AREA
 AND STORMWATER MANAGEMENT
 OBJECTIVE STANDARD B5-1**

4 Site Garden Area
 1:300

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SHEET NAME
**Compliance Plan – Garden Area, Permeability &
 Private Open Space (B28)**

SHEET No.
TP07

SCALE
 As
 Indicated(A2)

DATE
 07 February 2025

REV.
B

WINDOW SCHEDULE

No.	Type Mark	Location	Description	Type Size	Ventilation Area	Natural Light Area
01	WDH	06 Main Bedroom	Double Hung	1200w x 1800h	2.16m ² x 0.5 = 1.080m ²	2.16m ²
02	WSL	06 Main Bedroom	Sliding Window	2000w x 1800h	1.80m ² x 0.125 = 0.225m ²	3.6m ²
03	WSL	09 Guest Bedroom	Sliding Window	2000w x 800h	1.6m ² x 0.5 = 0.8m ²	1.6m ²
03a	WFX	09 Guest Bedroom	Fixed	1000w x 2205h	0.0m ²	2.205m ²
04	WSL	02 Kitchen/Living	Sliding Window	2000w x 800h	1.6m ² x 0.5 = 0.8m ²	1.6m ²
05	WFX	02 Kitchen/Living	Fixed	1530w x 900h	0.0m ²	1.377m ²
06	WFX	02 Kitchen/Living	Fixed	1530w x 900h	0.0m ²	1.377m ²
07	WFX	02 Kitchen/Living	Fixed	1530w x 900h	0.0m ²	1.377m ²
08	WFX	02 Kitchen/Living	Fixed	1530w x 900h	0.0m ²	1.377m ²
09	WFX	02 Kitchen/Living	Fixed	1530w x 900h	0.0m ²	1.377m ²
10	WFX	02 Kitchen/Living	Fixed	1530w x 900h	0.0m ²	1.377m ²
11	WFX	02 Kitchen/Living	Fixed	1530w x 900h	0.0m ²	1.377m ²

DOOR SCHEDULE

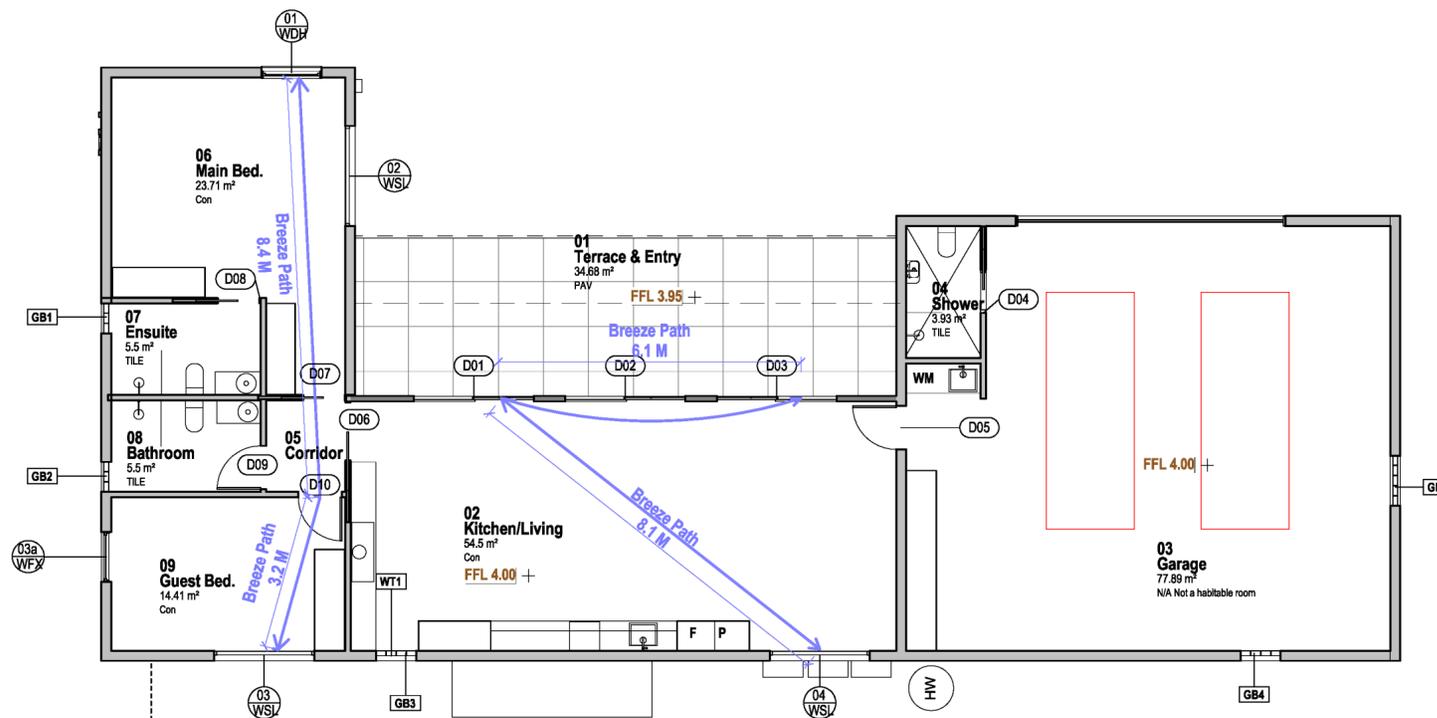
No.	Room No. & Name	Function	Type Size	Type Description	Natural Light	Ventilation Area Calculations
D01	02 Kitchen/Living	Exterior	2400w x 2400h mm	Glass Door External Slider	5.76m ²	5.76m ² x 0.5 = 2.88m ²
D02	02 Kitchen/Living	Exterior	2400w x 2400h mm	Glass Door External Slider	5.76m ²	5.76m ² x 0.5 = 2.88m ²
D03	02 Kitchen/Living	Exterior	2400w x 2400h mm	Glass Door External Slider	5.76m ²	5.76m ² x 0.5 = 2.88m ²
D04	04 Shower	Interior	870 X 2340	Cavity Slider		
D05	03 Garage	Interior	870 x 2340	Swing Hinged Door Flush Panel		
D06	05 Corridor	Interior	1200 X 2342	Cavity Slider		
D07	06 Main Bed	Interior	870 X 2340h	Cavity Slider		
D08	07 Ensuite	Interior	870 X 2340h	Cavity Slider		
D09	08 Bathroom	Interior	870 x 2340	Swing Hinged Door Flush Panel		
D10	09 Guest Bed	Interior	870 x 2340	Swing Hinged Door Flush Panel		

ROOM SCHEDULE

No.	Name	Area	Natural Light Required 10%	Natural Ventilation Required 5%	Natural Light Provided (m ²)	Natural Ventilation Provided (m ²)	Comment on Ventilation and Light
02	Kitchen/Living	54 m ²	5.45 m ²	2.72 m ²	30.30 m ²	9.44 m ²	Complies
03	Garage	78 m ²	7.79 m ²	3.89 m ²			N/A Not a habitable room
04	Shower	4 m ²	0.39 m ²	0.20 m ²			N/A Not a habitable room (mechanical ventilation)
05	Corridor	3 m ²	0.29 m ²	0.14 m ²			N/A Not a habitable room
06	Main Bed.	24 m ²	2.37 m ²	1.19 m ²	5.76 m ²	1.30 m ²	Complies
07	Ensuite	5 m ²	0.55 m ²	0.27 m ²			N/A Not a habitable room (mechanical ventilation)
08	Bathroom	5 m ²	0.55 m ²	0.27 m ²			N/A Not a habitable room (mechanical ventilation)
09	Guest Bed.	14 m ²	1.44 m ²	0.72 m ²	10.00 m ²	5.00 m ²	Complies

GLASS BLOCK SCHEDULE

No.	Room No. Location	Size width x height = m ²
GB1	07 Ensuite	600 x 2250 = 1.35m ²
GB2	08 Bathroom	600 x 2250 = 1.35m ²
GB3	02 Kitchen Living	800 x 2250 = 1.80m ²
GB4	03 Garage	800 x 1850 = 1.35m ²
GB5	03 Garage	1000 x 2350 = 2.35m ²



1 Breeze Path Diagram
1 : 100

FOR TOWN PLANNING

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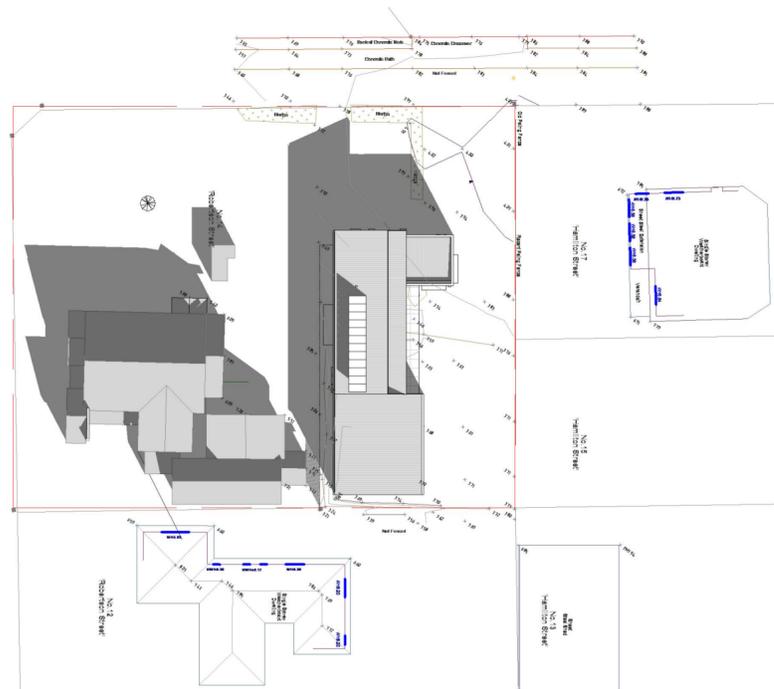
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SCHEDULES & BREEZE PATH DIAGRAM

SHEET No.
TP08

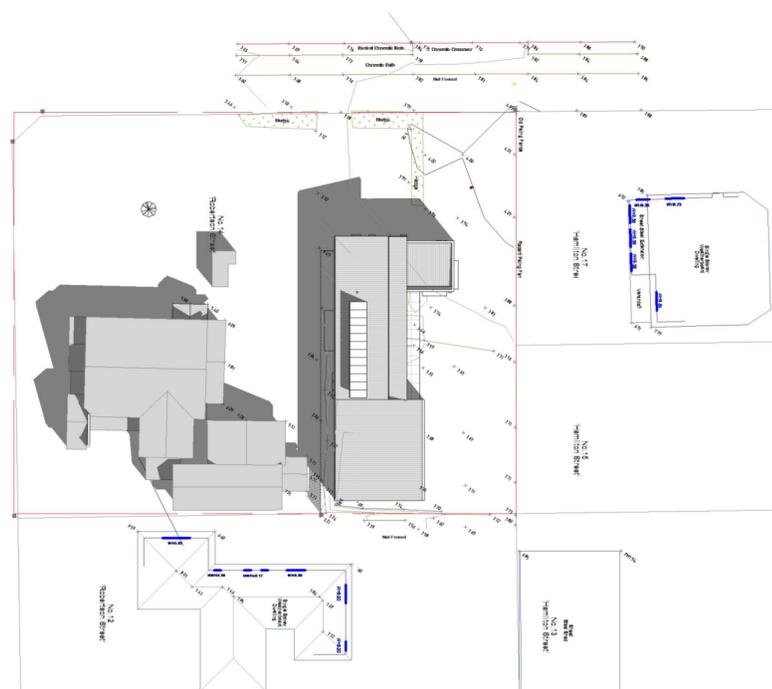
SCALE
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DATE
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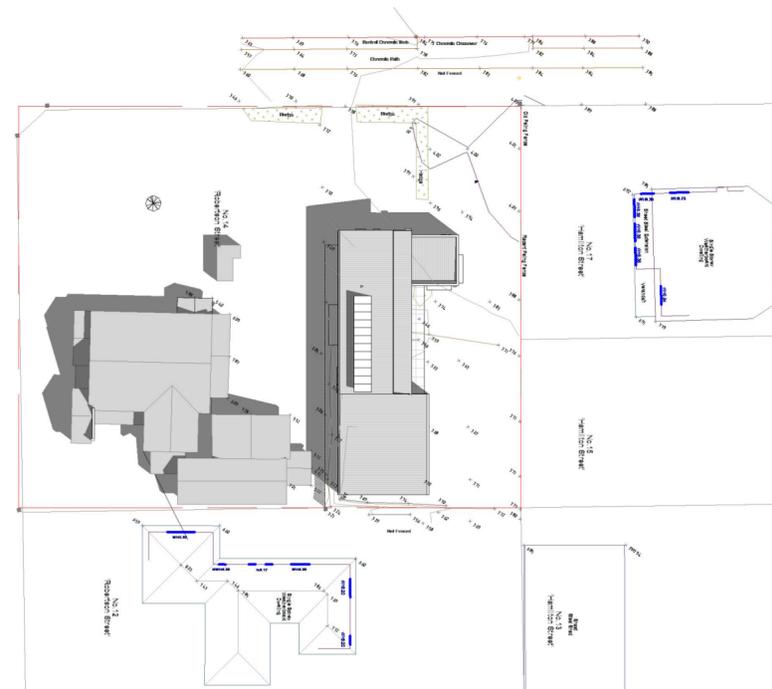
REV.
B



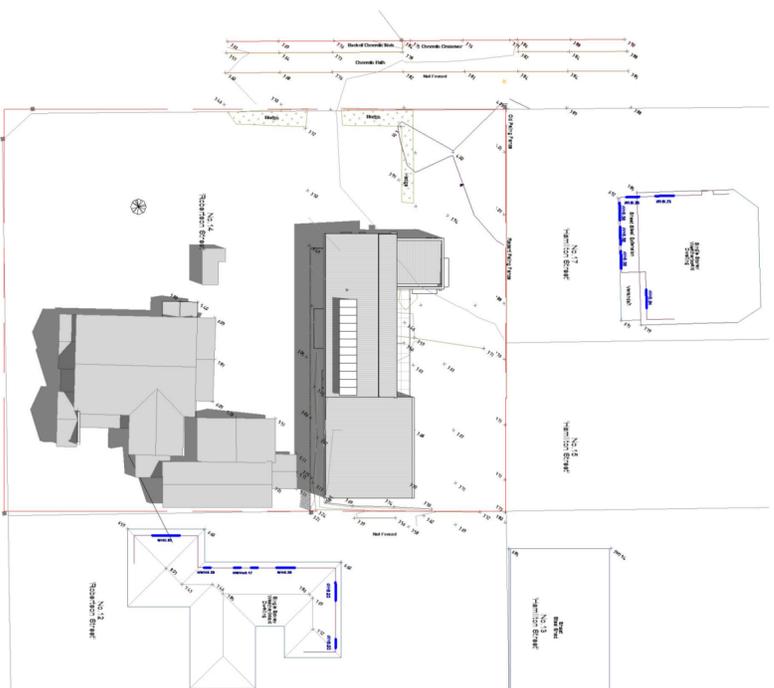
1 SHADOW 9.00am 22nd September
1:500



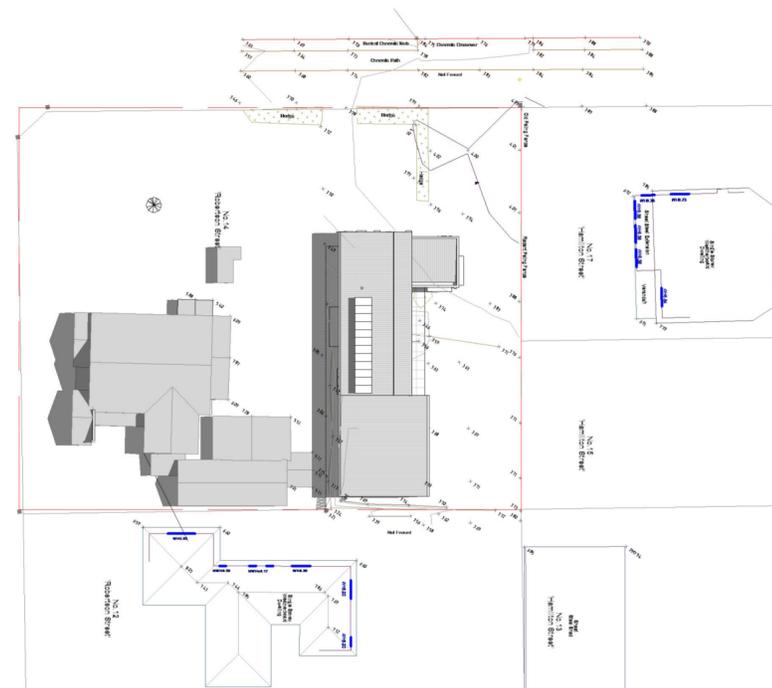
2 SHADOW 10.00am 22nd September
1:500



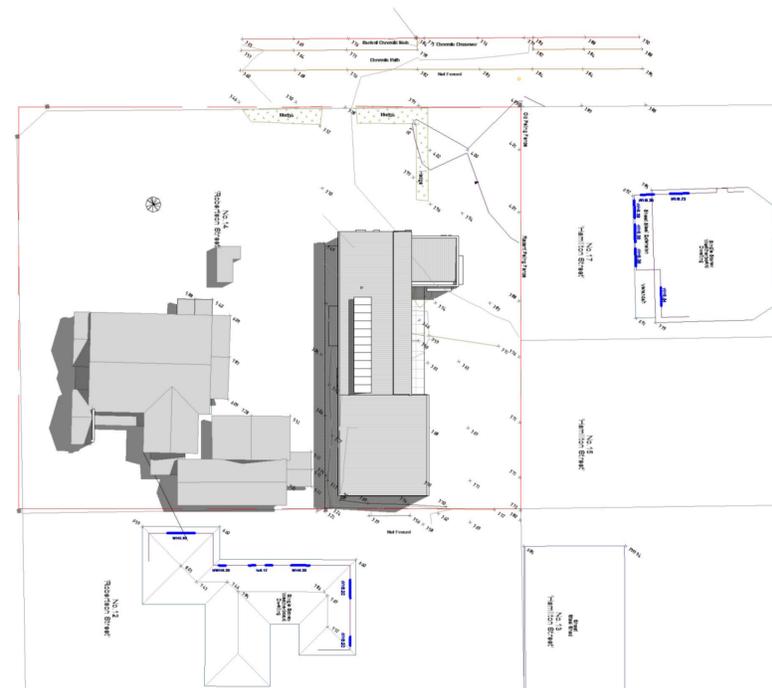
3 SHADOW 11.00am 22nd September
1:500



4 SHADOW 12.00pm 22nd September
1:500



5 SHADOW 1.00pm 22nd September
1:500

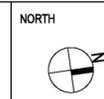


6 SHADOW 2.00pm 22nd September
1:500

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SHEET NAME
SHADOW DIAGRAMS

SCALE
1:500(A2)

DATE
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SHEET No.
TP09
REV.
B

FOR TOWN PLANNING

16/01/2026 12:54:24 PM



PA1 DULUX EASTERN GOLD



PA2 DULUX SPORES



PFC2 DULUX TERRACE WHITE OR SURFMIST



PFC1 DULUX WOODLAND GREY OR SIMILAR MUTED COLOUR



CP PRECAST CONCRETE PANELS



TLB BLACKBUTT TIMBER BOARDS



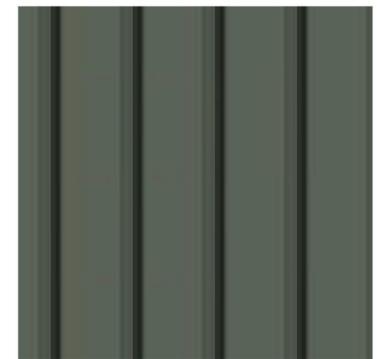
PAV STONE PAVER



GB GLASS BLOCK (OPAQUE)



WF WINDOW FRAMES & CANOPIES DULUX WOOD LAND GREY



R01 NEW KLIP-LOK METAL DECK ROOF COLORBOND FINISH WOODLAND GREY OR SIMILAR MUTED COLOUR

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NORTH

SHEET NAME
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SHEET No.

TP10

SCALE
1 : 10(A2)

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