



1:750



Co.Lab, Level 1 - 1 Dispensary Lane, Warmambool, VIC. 3280 ABN: 53253414622 Reg No: DP-AD 40515 info@mpaastudio.co (03) 5562 9443 **mpaastudio.**

This drawing shall be read in conjunction with all other drawings and specifications issued to the builder.

DO NOT SCALE - The builder shall check all dimensions and

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Rev	Description	Date
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8		

NOT FOR CONSTRUCTION

Drawn By:

Plot Date:

6/10/2025 AS SHOWN @ A3

Client

SITE ADDRESS:

40 LUMSDEN LANE KOROIT VIC. 3282

DRAWING TITLE:

PROPOSED SITE PLAN

PROJECT NAME:

PROPOSED 2-LOT SUBDIVISION

DRAWING No.

TP1 of TP4

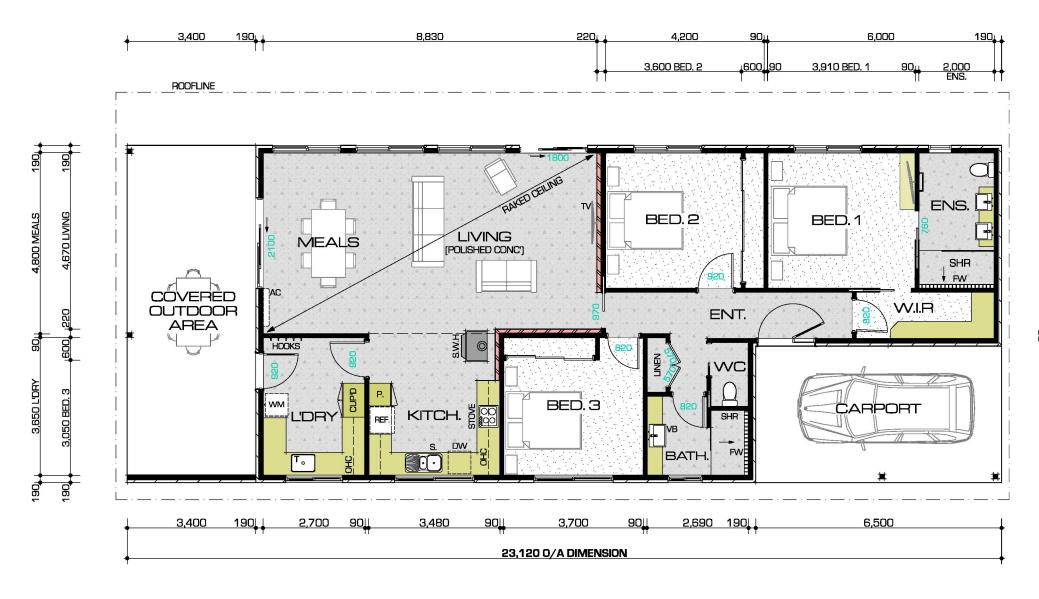
NORTH

REVISION No.



BUILDING AREAS

l .		
AREA	SQM.	SQs
PROPOSED GROUND FLOOR	136.51	14.69
SUB-TOTAL BUILDING AREA	136.51	14.69
PROPOSED CARPORT	38.50	4.14
PROPOSED COVERED AREA	30.33	3.26
TOTAL BUILDING AREA	205.34	22.0



LEGEND

OHC	Overhead cupboards	ST	Freestanding sto
S	Stainless steel sink	S.W.H	Solid wood heate
REF	Refrigerator provision min. 800mm	DW	Underbench dishwasher
WC	toilet pan	VB	Vanity basin
SHR	Shower	Т	Laundry tough

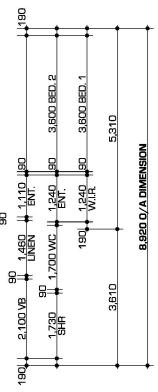
WALL TYPES



75mm(thk) hebel veneer external walls to extent of the dwelling.

220mm(thk) brick veneer internal therma massing.

90mm(thk) internal stud walls.



GROUND FLOOR PLAN

1:100





ABN: 53253414622 Reg No: DP-AD 40515 info@mpaastudio.co (03) 5562 9443 mg

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Scale	AS SHOWN @ A3
Client	

SITE ADDRESS :

Date

40 LUMSDEN LANE KOROIT VIC. 3282

DRAWING TITLE :

PROPOSED GROUND FLOOR PLAN TP2 of TP4

PROJECT NAME:

PROPOSED 2-LOT SUBDIVISION

DRAWING No.

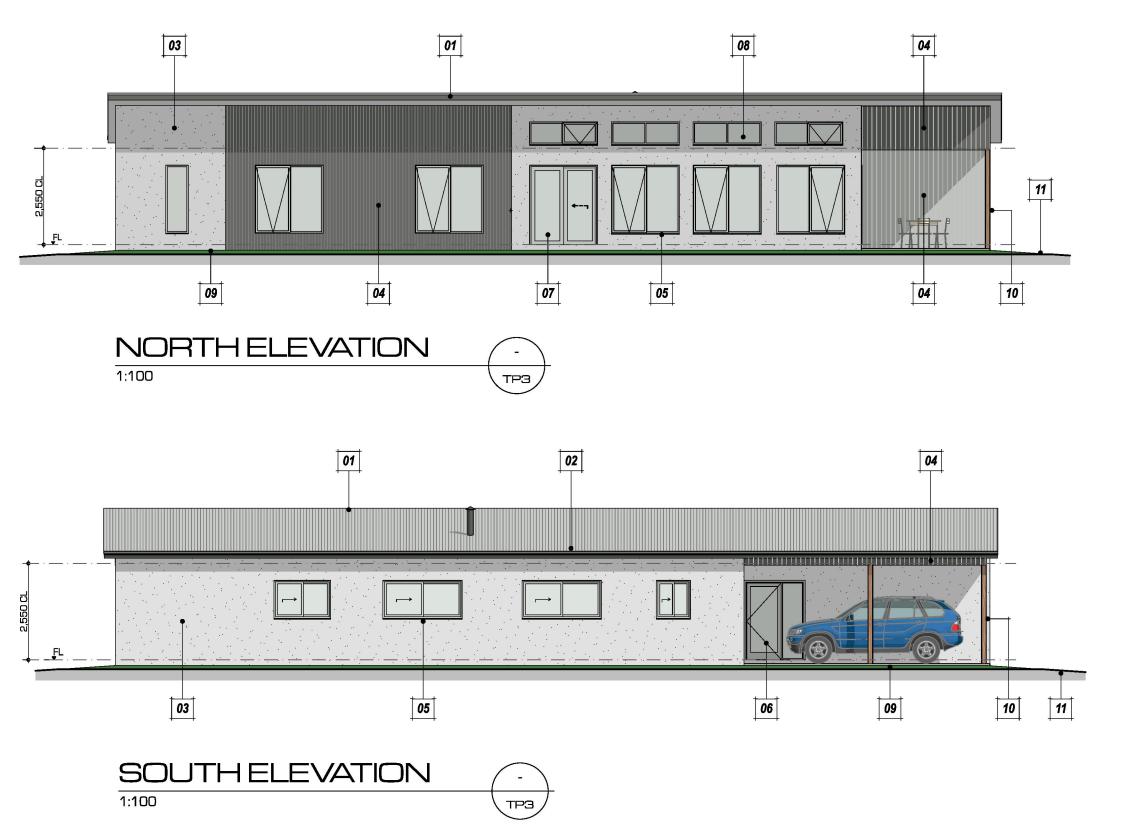
REVISION No.

PROJECT No.

25-1597



25-1597 - 40 Lumsden Lane, Koroit.pln



EXT	EXTERNAL FINISHES SCHEDULE:			
TAG No.	DESCRIPTION			
01	CORRUGATED COLORBOND ROOF SHEETS @ 6° PITCH IN CB 'SHALE GREY'. 700mm FC LINED EAVE TO NORTH.			
02	COLORBOND 'WOODLAND GREY' EAVES GUTTER ON COLORBOND 'WOODLAND GREY' METAL FASCIA.			
03	CSR HEBEL POWERPANEL LIGHTWEIGHT EXTERNAL WALL CLADDING TO THE EXTENT OF THE DWELLING WITH APPLIED 'WHITE' RENDER FINISH.			
04	VERTICALLY GROOVED FIBRE CEMENT SHEET CLADDING SYSTEM INFILL TO CARPORT / COVERED AREA - CB 'WOODLAND GREY' PAINT FINISH. FLAT SOFFIT TO THESE AREAS.			
05	POWDERCOAT CB 'SHALE GREY' ALUMINIUM IMPROVED AWNING WINDOWS, UNLESS SHOWN OTHERWISE.			
06	POWDERCOAT CB 'SHALE GREY' ALUMINIUM IMPROVED FULLY GLAZED HINGED DOOR.			
07	07 POWDERCOAT CB 'SHALE GREY' ALUMINIUM IMPROVED SLIDING DOORS.			
08	POWDERCOAT CB 'SHALE GREY' ALUMINIUM IMPROVED CLERESTORY WINDOWS TO RAKED SECTION OF LIVING AREA.			
09	CONCRETE FLOOR SLAB TO THE EXTENT OF THE CARPORT & COVERED OUTDOOR AREA - TYPICAL.			
10	120 x 120 D.A.R CYPRESS PINE POSTS OR EQUIVALENT. CLEAR COATED 'NATURAL' FINISH.			
11	ENSURE FINISHED SURFACE FALLS AWAY A MIN. 1:20 FROM BUILDING EDGE FOR A MIN. 2.0M - TYPICAL.			



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Drawn By: Plot Date: 6/10/2025 Scale

Client

AS SHOWN @ A3

SITE ADDRESS :

40 LUMSDEN LANE KOROIT VIC. 3282

DRAWING TITLE :

NORTH & SOUTH ELEVATIONS

PROJECT NAME:

PROPOSED 2-LOT SUBDIVISION

DRAWING No.

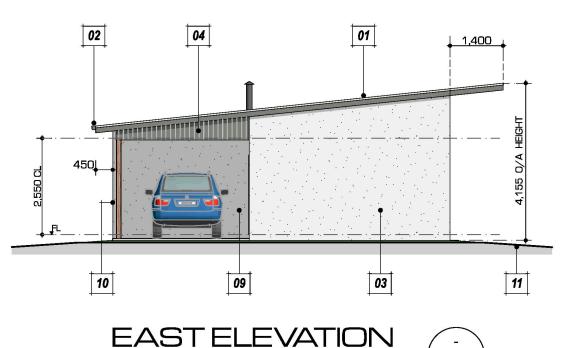
TP3 of TP4

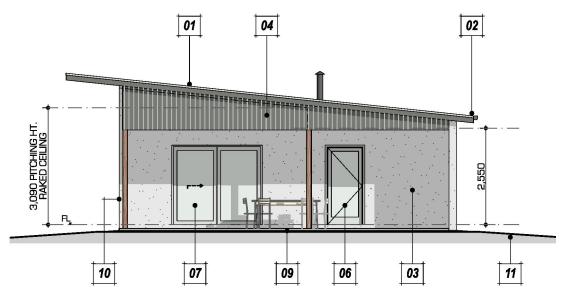
REVISION No.

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WEST ELEVATION 1:100

TP4







1:100

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Plot Date: Scale

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Client

SITE ADDRESS :

40 LUMSDEN LANE KOROIT VIC. 3282

DRAWING TITLE:

EAST & WEST ELEVATIONS

PROJECT NAME:

PROPOSED 2-LOT SUBDIVISION

DRAWING No.

EXTERNAL FINISHES SCHEDULE:

CORRUGATED COLORBOND ROOF SHEETS @ 6° PITCH IN

CSR HEBEL POWERPANEL LIGHTWEIGHT EXTERNAL WALL

'WOODLAND GREY' PAINT FINISH. FLAT SOFFIT TO THESE AREAS. POWDERCOAT CB 'SHALE GREY' ALUMINIUM IMPROVED AWNING WINDOWS, UNLESS SHOWN OTHERWISE.

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120 x 120 D.A.R CYPRESS PINE POSTS OR EQUIVALENT.

ENSURE FINISHED SURFACE FALLS AWAY A MIN. 1:20

FROM BUILDING EDGE FOR A MIN. 2.0M - TYPICAL.

CB 'SHALE GREY'. 700mm FC LINED EAVE TO NORTH. COLORBOND 'WOODLAND GREY' EAVES GUTTER ON COLORBOND 'WOODLAND GREY' METAL FASCIA.

CLADDING TO THE EXTENT OF THE DWELLING WITH

VERTICALLY GROOVED FIBRE CEMENT SHEET CLADDING SYSTEM INFILL TO CARPORT / COVERED AREA - CB

APPLIED 'WHITE' RENDER FINISH.

FULLY GLAZED HINGED DOOR.

& COVERED OUTDOOR AREA - TYPICAL.

CLEAR COATED 'NATURAL' FINISH.

SLIDING DOORS.

DESCRIPTION

TAG No.

01

06

07

09

11

TP4 of TP4

REVISION No.

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