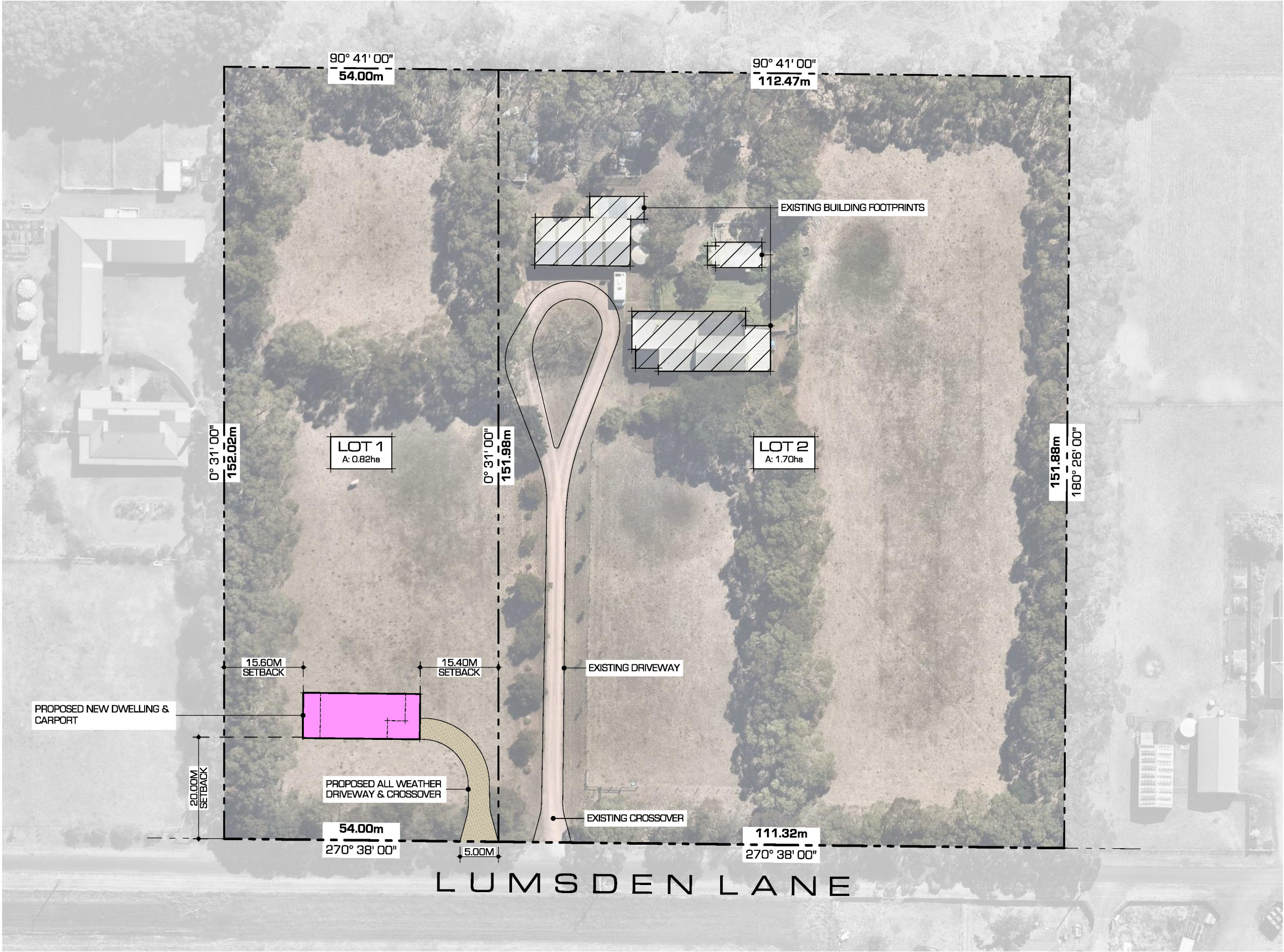
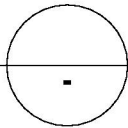




PROPOSED SITE PLAN

1:750



Co.Lab, Level 1 - 1 Dispensary Lane, Warrambool, VIC. 3280
ABN: 53253414622 Reg No: DP-AD 40515
info@mpaastudio.co (03) 5562 9443 mpaastudio.co

This drawing shall be read in conjunction with all other drawings and specifications issued to the builder.
DO NOT SCALE - The builder shall check all dimensions and levels on site prior to construction. Any discrepancies shall be referred to #Contact Company before work proceeds. Refer to written dimensions only. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by #Contact Company and is to be used only for work when authorised in writing by #Contact Company.

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Rev	Description	Date

NOT FOR CONSTRUCTION

Drawn By: -
Plot Date: 6/10/2025
Scale: AS SHOWN @ A3

Client

SITE ADDRESS :
40 LUMSDEN LANE KOROIT
VIC. 3282

DRAWING TITLE :
PROPOSED SITE PLAN

PROJECT NAME :
PROPOSED 2-LOT
SUBDIVISION

DRAWING No.

TP1 of TP4

REVISION No.



BUILDING AREAS

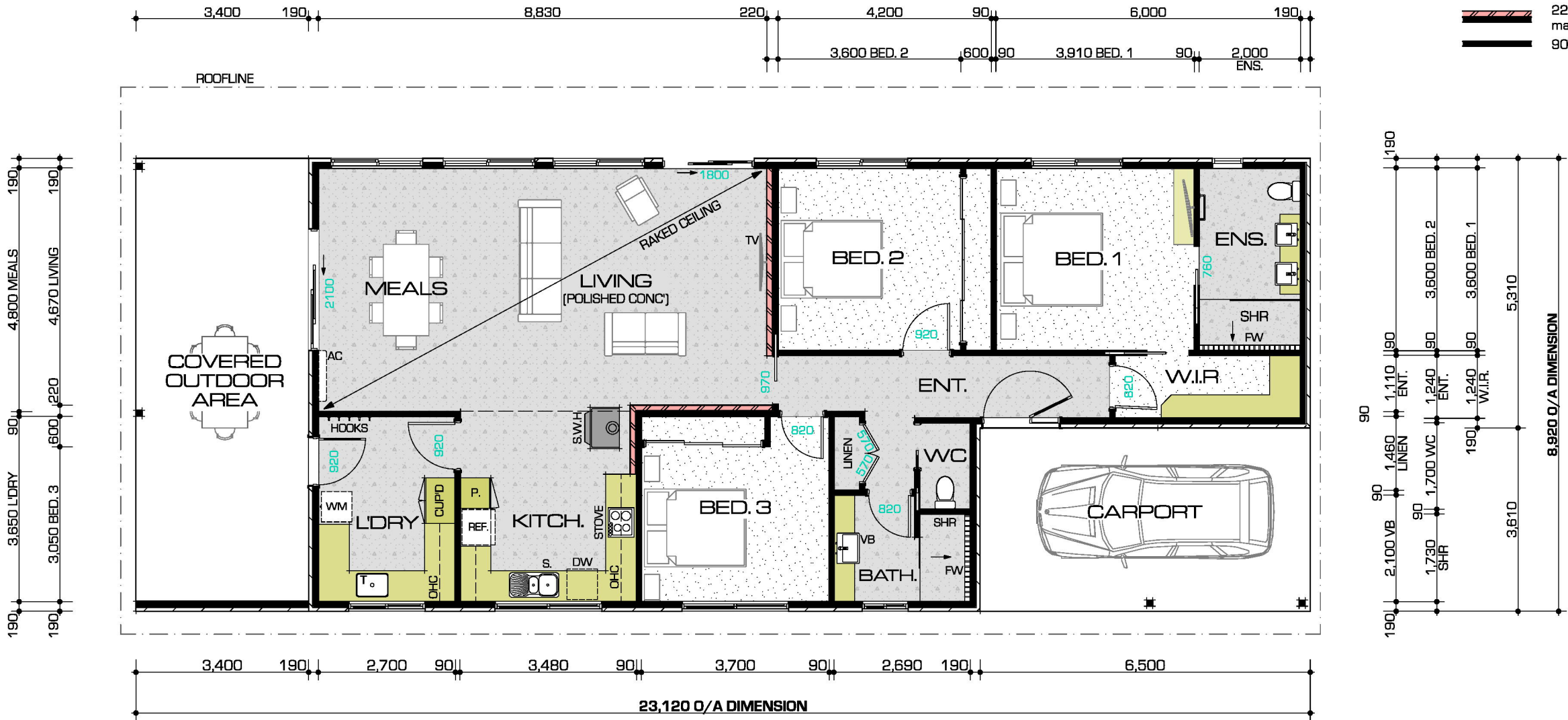
AREA	SGM.	SGs
PROPOSED GROUND FLOOR	136.51	14.69
SUB-TOTAL BUILDING AREA	136.51	14.69
PROPOSED CARPORT	38.50	4.14
PROPOSED COVERED AREA	30.33	3.26
TOTAL BUILDING AREA	205.34	22.0

LEGEND

OHC	Overhead cupboards	ST	Freestanding stove
S	Stainless steel sink	S.W.H	Solid wood heater
REF	Refrigerator provision min. 800mm	DW	Underbench dishwasher
WC	toilet pan	VB	Vanity basin
SHR	Shower	T	Laundry tough

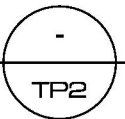
WALL TYPES

	75mm(thk) habel veneer external walls to extent of the dwelling.
	220mm(thk) brick veneer internal thermal massing.
	90mm(thk) internal stud walls.



GROUND FLOOR PLAN

1:100



Co.Lab, Level 1 - 1 Dispensary Lane, Warrambool, VIC. 3280
ABN: 53253414622 Reg No: DP-AD 40515
info@mpaastudio.co (03) 5562 9443 mpaastudio.co

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Rev	Description	Date

NOT FOR CONSTRUCTION

Drawn By: -
Plot Date: 6/10/2025
Scale: AS SHOWN @ A3

Client

SITE ADDRESS :
40 LUMSDEN LANE KOROIT VIC.
3282

DRAWING TITLE :
PROPOSED GROUND FLOOR PLAN

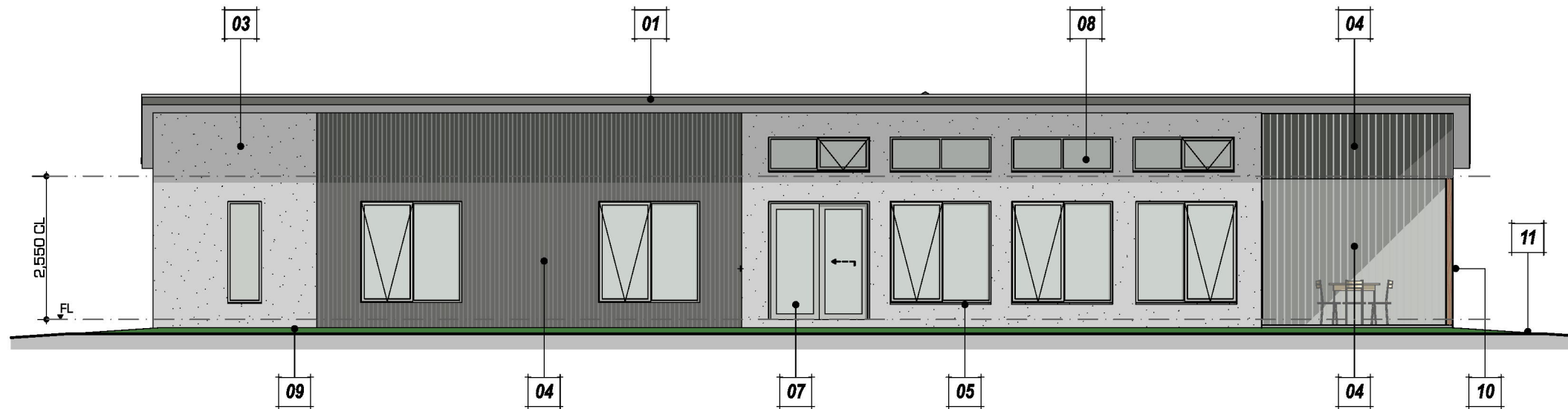
PROJECT NAME :
PROPOSED 2-LOT SUBDIVISION

DRAWING No.
TP2 of TP4
REVISION No.

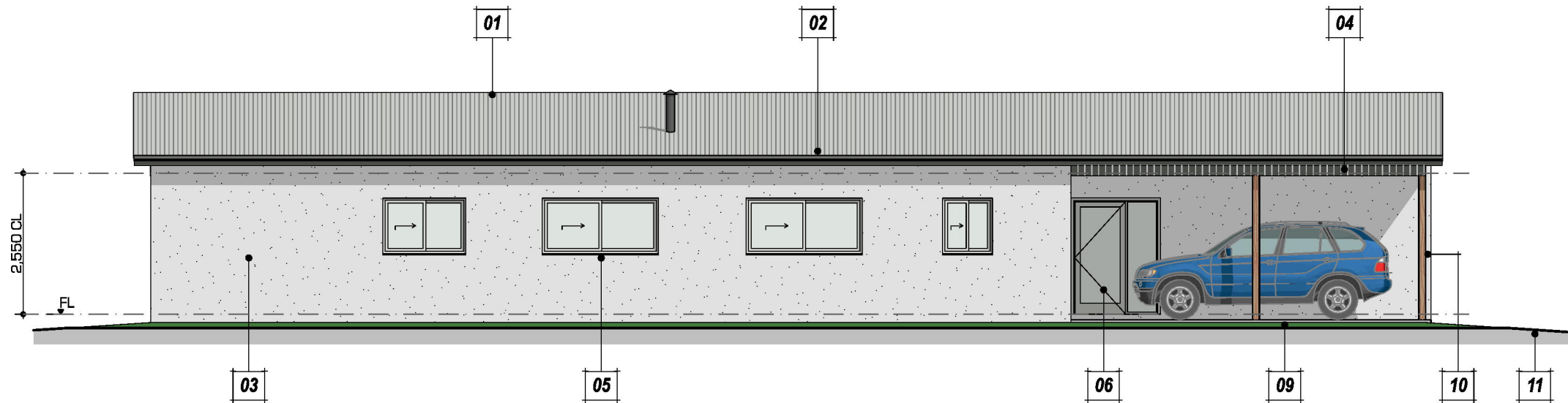
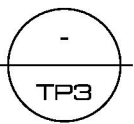
PROJECT No.
25-1597



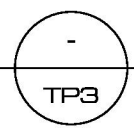
25-1597 - 40 Lumsden Lane, Koroit.pln



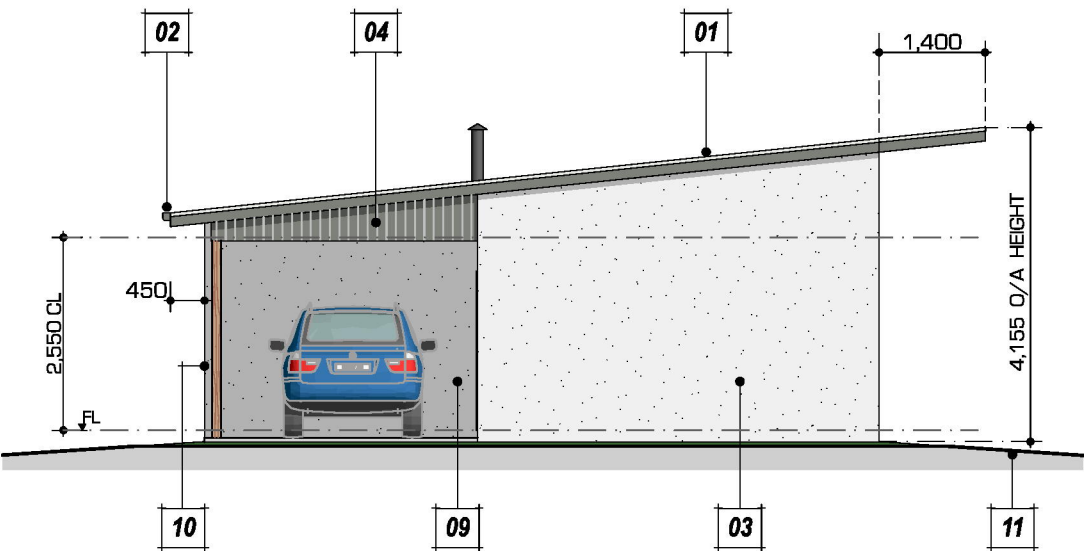
NORTH ELEVATION
1:100



SOUTH ELEVATION
1:100



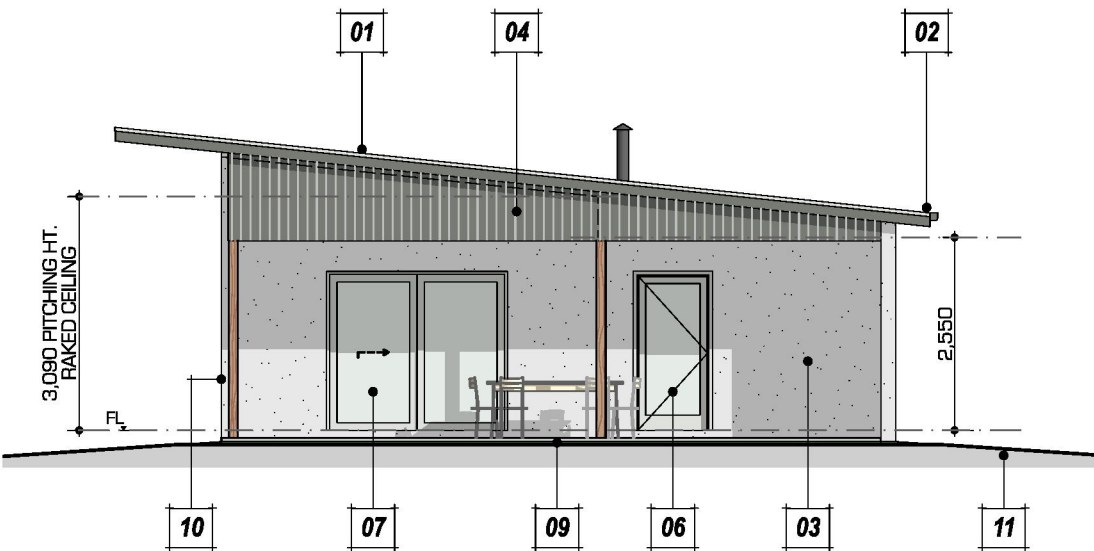
EXTERNAL FINISHES SCHEDULE:	
TAG No.	DESCRIPTION
01	CORRUGATED COLORBOND ROOF SHEETS @ 6° PITCH IN CB 'SHALE GREY'. 700mm FC LINED EAVE TO NORTH.
02	COLORBOND 'WOODLAND GREY' EAVES GUTTER ON COLORBOND 'WOODLAND GREY' METAL FASCIA.
03	CSR HEBEL POWERPANEL LIGHTWEIGHT EXTERNAL WALL CLADDING TO THE EXTENT OF THE DWELLING WITH APPLIED 'WHITE' RENDER FINISH.
04	VERTICALLY GROOVED FIBRE CEMENT SHEET CLADDING SYSTEM INFILL TO CARPORT / COVERED AREA - CB 'WOODLAND GREY' PAINT FINISH. FLAT SOFFIT TO THESE AREAS.
05	POWDERCOAT CB 'SHALE GREY' ALUMINIUM IMPROVED AWNING WINDOWS, UNLESS SHOWN OTHERWISE.
06	POWDERCOAT CB 'SHALE GREY' ALUMINIUM IMPROVED FULLY GLAZED HINGED DOOR.
07	POWDERCOAT CB 'SHALE GREY' ALUMINIUM IMPROVED SLIDING DOORS.
08	POWDERCOAT CB 'SHALE GREY' ALUMINIUM IMPROVED CLERESTORY WINDOWS TO RAKED SECTION OF LIVING AREA.
09	CONCRETE FLOOR SLAB TO THE EXTENT OF THE CARPORT & COVERED OUTDOOR AREA - TYPICAL.
10	120 x 120 D.A.R CYPRESS PINE POSTS OR EQUIVALENT. CLEAR COATED 'NATURAL' FINISH.
11	ENSURE FINISHED SURFACE FALLS AWAY A MIN. 1:20 FROM BUILDING EDGE FOR A MIN. 2.0M - TYPICAL.



EAST ELEVATION
1:100

-

TP4



WEST ELEVATION
1:100

-

TP4

EXTERNAL FINISHES SCHEDULE:	
TAG No.	DESCRIPTION
01	CORRUGATED COLORBOND ROOF SHEETS @ 6° PITCH IN CB 'SHALE GREY'. 700mm FC LINED EAVE TO NORTH.
02	COLORBOND 'WOODLAND GREY' EAVES GUTTER ON COLORBOND 'WOODLAND GREY' METAL FASCIA.
03	CSR HEBEL POWERPANEL LIGHTWEIGHT EXTERNAL WALL CLADDING TO THE EXTENT OF THE DWELLING WITH APPLIED 'WHITE' RENDER FINISH.
04	VERTICALLY GROOVED FIBRE CEMENT SHEET CLADDING SYSTEM INFILL TO CARPORT / COVERED AREA - CB 'WOODLAND GREY' PAINT FINISH. FLAT SOFFT TO THESE AREAS.
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06	POWDERCOAT CB 'SHALE GREY' ALUMINIUM IMPROVED FULLY GLAZED HINGED DOOR.
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10	120 x 120 D.A.P CYPRESS PINE POSTS OR EQUIVALENT. CLEAR COATED 'NATURAL' FINISH.
11	ENSURE FINISHED SURFACE FALLS AWAY A MIN. 1:20 FROM BUILDING EDGE FOR A MIN. 2.0M - TYPICAL.

