

20/10/2025

Planning Department
Moyne Shire Council
Princes Street
Port Fairy VIC 3284

Dear Planning Team,

Please find attached a planning permit application for 2 Grant Street, Port Fairy, Vic. 3284.

Attached are the following documents:

- Planning Permit Application Form
- Copy of Title
- Planning Assessment Report including Clause 55 Assessment
- Plans and Elevations

Please contact me on 03 5562 5229 or via nathan@designingspaces.net.au if you have any questions on the above application.

Yours faithfully,

Designing Spaces

Planning report

Lot 22 Block 3 PS001067 – 2 Grant Street, Port Fairy, Vic.
3284.

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ACKNOWLEDGEMENTS

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DOCUMENT CONTROL

This document has been prepared to aid the submission of a planning permit application for 2 Grant Street, Port Fairy, Vic. 3284.

Revision 1

PROPOSAL

It is proposed to construct an extension and inground swimming pool to the side and rear of the existing 3 bedroom dwelling on an 809 sqm site in central Port Fairy. The existing detached garage will be demolished to facilitate the works.

The intent of the extension is for extended family to use from time to time. An earlier application was lodged for a second dwelling, which attracted objections. The application has now lapsed and has been resubmitted in a different form, as an extension – which is now attached to the existing dwelling and does not meet the definition of a dwelling in its own right as the kitchen has been removed and the extension is not self-contained. The roof line has also been altered with the upstairs component reduced in size, stepped, and shifted to the south.

The extension will be double storied containing a ground floor pool house, shower room with W/C, double integral garage, and stairs to first floor. The first floor will have a rumpus room, 2 bedrooms and a bathroom.

The height of the extension will be 6.985m from natural ground level, and will be well setback at 23.5m from the front (eastern) boundary, 1.72m from the rear (west) boundary, 11.64m from the southern boundary and 1.20m from the northern boundary.

Selected external materials for the extension will be Hardies Scyon Linea cladding with aluminium windows in light tones will be used to blend with the existing house and heritage precinct. The roof will be slightly pitched and covered with Colorbond and incorporating Velux skylight windows for natural light and solar gain and to restrict overlooking.

The pool will measure 9m x 4m which will be enclosed by 1.2m pool fencing and paved around the edges.

The new extension will have an overall floor area of approximately 175 sqm including the garage, with a building footprint when combined with the existing dwelling footprint of 343 sqm, or 39% of the 809sqm site area including the pool.

The area around the pool will be fenced and landscaped, otherwise landscaping and fencing are unchanged.

There is a small amount of overshadowing on the southern and western sides which is well within rescode requirements if it were applicable, including minimal overlooking.

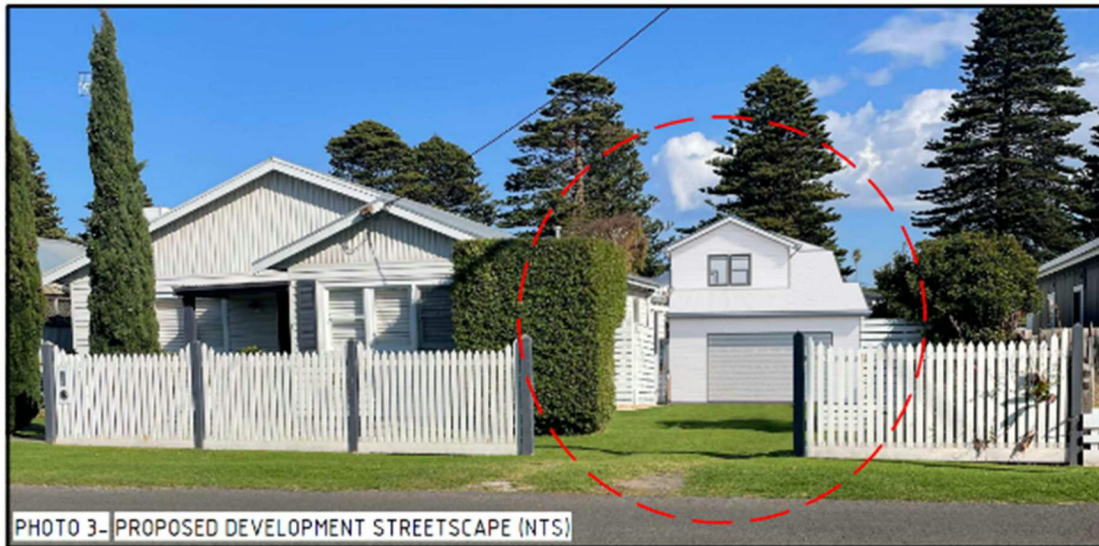




PHOTO 1- EXISTING CONDITIONS- STREETSCAPE (NTS)



PHOTO 1- PROPOSED DEVELOPMENT STREETSCAPE (NTS)

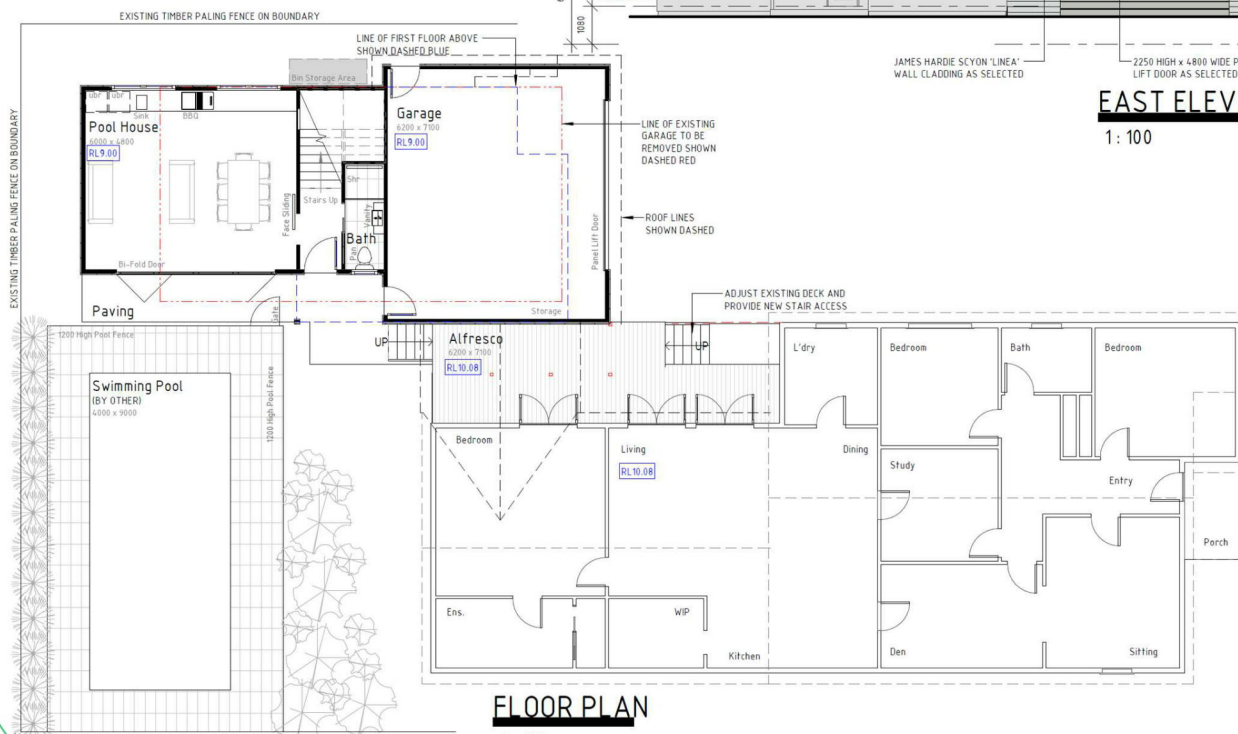
LEGEND



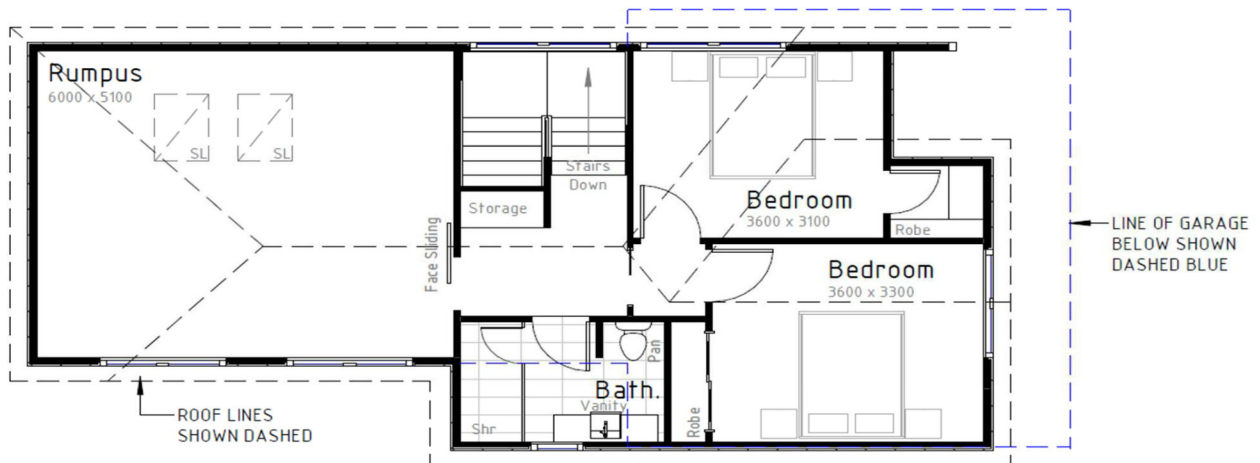
AREA ANALYSIS		
Name	Area	SO'S
Existing Residence	189.75 m ²	20.42
Proposed First Floor	82.97 m ²	8.93
Proposed Garage	46.90 m ²	5.05
Proposed Pool House	46.01 m ²	4.95
Proposed Paving	16.71 m ²	1.80
Proposed Alfresco	16.94 m ²	1.61
Existing Porch	6.48 m ²	0.68
TOTAL	401.74 m ²	



EAST ELEVATION
1:100



FLOOR PLAN
1:100



FIRST FLOOR PLAN

1 : 100

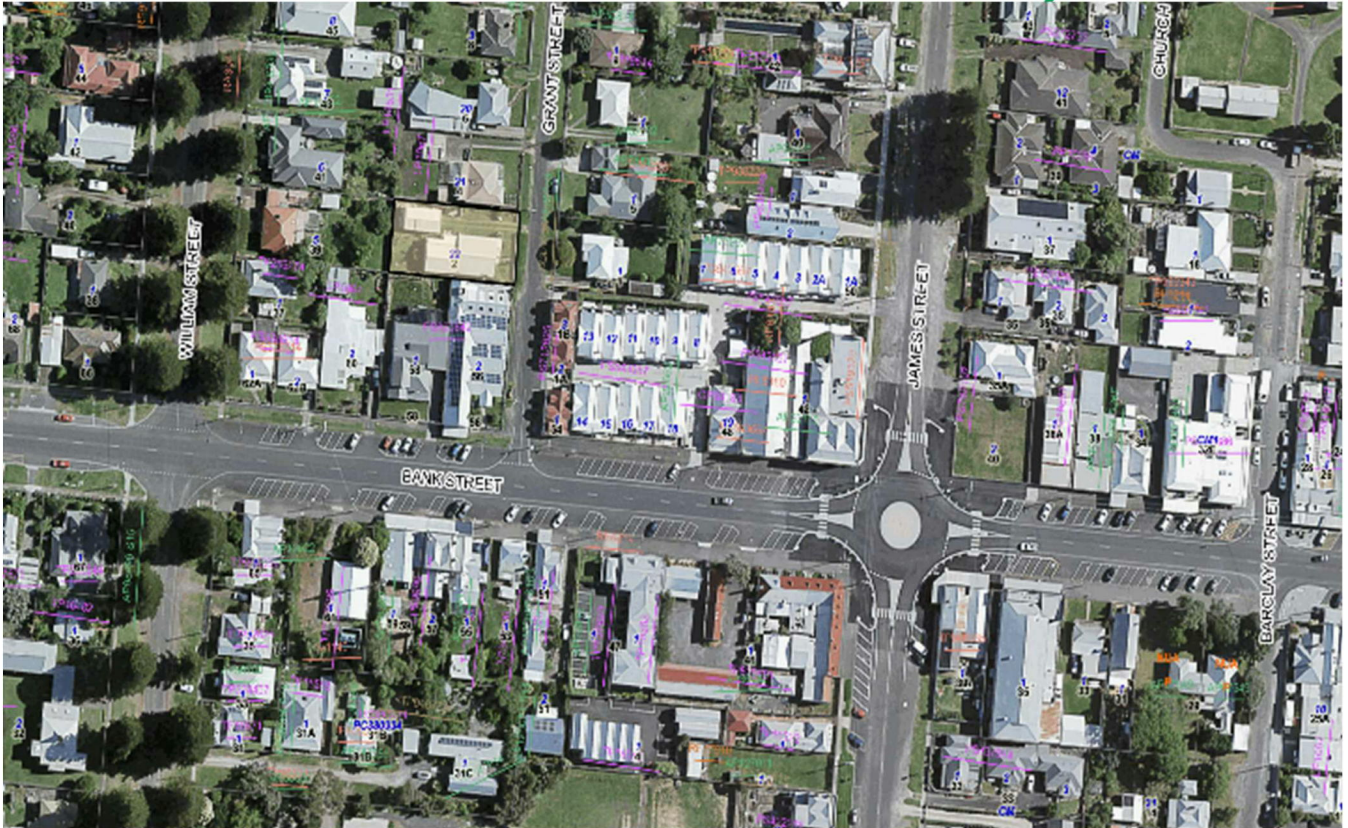
SITE ANALYSIS

The subject site has frontage to Grant Street, immediately behind the Port Fairy Day Spa, 1 allotment back from the corner of Bank Street in Port Fairy. The site extends to 809 sqm which is flat and occupied by a 3 bedroom weatherboard dwelling under a Colorbond roof covering with detached garage.

There is an existing driveway on the northern side leading from Grant Street providing access to the dwelling, established gardens to front and rear which are mainly lawned, a selection of shrubs and enclosed by timber fencing. There are no easements shown on title.

The neighbourhood character is varied. There are two storied dormer windowed apartments directly opposite which extend around the corner into Bank Street, the Port Fairy Day Spa abutting to the south which has a dense site coverage and with a mix of dwelling styles, ages from the early 1800's to mid-1900's and later with notably varied front setbacks. Grant Street has a relatively narrow road pavement width but with quite wide grassed nature strips, no footpath on both sides, informal crossovers and no kerb and channel drainage or street trees.

Aerial view



Dwelling frontage



Rear garden



Grant Street streetscape looking southwest



Looking northeast





RESTRICTIONS ON TITLE

None

PLANNING CONTROLS

10

Zone

The site is located in the Neighbourhood Residential Zone Schedule 1 (NRZ1)



Overlays

The following Overlays apply to the land:

Heritage Overlay Schedule 13 (HO13) – Port Fairy Residential Heritage Precinct.



Design and Development Overlay Schedule 2 (DD02).



Other

The site is within an area of Aboriginal Cultural Heritage Sensitivity.

Permit Requirements

No permit is required for use or buildings and works under the zone as the site exceeds 300 sqm.

A permit is required under the H013 pursuant to **Clause 43.01-1** for demolition and to construct a building or carry out works. There appears to be no heritage citation for Grant Street or H013.

A permit is required under the DD02 pursuant to **Clause 43.02-2** for buildings and works.

Other

The proposal is exempt from the requirement to prepare a Cultural Heritage Management Plan under the Aboriginal Heritage regulations 2018.

PLANNING ASSESSMENT

Clause 43.01 HERITAGE OVERLAY Purpose

*To implement the Municipal Planning Strategy and the Planning Policy Framework.
To conserve and enhance heritage places of natural or cultural significance.
To conserve and enhance those elements which contribute to the significance of heritage places.*

To ensure that development does not adversely affect the significance of heritage places.

To conserve specified heritage places by allowing a use that would otherwise be prohibited if this will demonstrably assist with the conservation of the significance of the heritage place.

Clause 43.01-8

Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The significance of the heritage place and whether the proposal will adversely affect the natural or cultural significance of the place.*
- *Any applicable statement of significance (whether or not specified in the schedule to this overlay), heritage study and any applicable conservation policy.*
- *Any applicable heritage design guideline specified in the schedule to this overlay.*
- *Whether the location, bulk, form or appearance of the proposed building will adversely affect the significance of the heritage place.*
- *Whether the location, bulk, form and appearance of the proposed building is in keeping with the character and appearance of adjacent buildings and the heritage place.*
- *Whether the demolition, removal or external alteration will adversely affect the significance of the heritage place.*
- *Whether the proposed works will adversely affect the significance, character or appearance of the heritage place.*
- *Whether the proposed subdivision will adversely affect the significance of the heritage place.*
- *Whether the proposed subdivision may result in development which will adversely affect the significance, character or appearance of the heritage place.*
- *Whether the proposed sign will adversely affect the significance, character or appearance of the heritage place.*
- *Whether the lopping or development will adversely affect the health, appearance or significance of the tree.*
- *Whether the location, style, size, colour and materials of the proposed solar energy system will adversely affect the significance, character or appearance of the heritage place.*

Heritage Citation

There appears to be no heritage citation for Grant Street or H013 although there are guidelines listed as an incorporated document for H013, excerpt below.

Port Fairy Residential Heritage Precincts Heritage Design Guidelines

Moyne Shire Council, June 2023

Heritage Place: Port Fairy Residential Heritage Precincts	PS ref no: HO13, HO49, HO50, HO51, HO52, HO53, HO54, HO55, HO56, HO57, HO68, HO69, HO70, HO71, HO73, HO74
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General

Design proposed buildings and works to harmonise with the heritage character of the precinct.

Design the general form of new residential buildings to include:

- Pitched roofs.
- Timber posted verandahs where this is characteristic of the streetscape.
- Vertical rectangular timber windows.

Encourage buildings or building additions that are constructed to a height of not more than one storey.

Site new buildings to respond to the prevailing setbacks and settings of the streetscape.

Relationship to street

Reduce perceived building bulk by articulating wide building facades through changes in footprint, height, or materials.

Orientate the main door of the dwelling and the windows of habitable rooms towards the street.

Encourage verandah treatments that:

- Use style, materials and detailing that complement those of heritage buildings.
- Are pitched less steeply than roofs.

Pitched roofs and chimneys

Design new development with pitched roofs such as hipped or gabled forms of at least 30 degrees.

Encourage chimneys that reflect the existing residential skyline character.

Services

Locate infrastructure such as air conditioning units, storage for gas bottles, TV aerials, above ground rainwater tanks and solar panels where they are not visible from the street.

Colours and materials

Encourage the use of materials that are complementary to the character of the heritage precinct.

Encourage the use of muted tones of lighter colours for larger surfaces such as walls and roofs, while darker deep colours are encouraged for details such as window frames, door frames and verandah posts.

This document is an incorporated document in the Moyne Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

OFFICIAL

Window and wall ratios

Design window treatments in new development to reflect the predominant vertical orientation and pattern characteristic of early heritage buildings in Port Fairy with:

- A 33 per cent to 67 per cent window to wall proportion.

Garages, carports, and parking

Site garages and carports behind dwellings, and if not practical, behind the building façade. The greater the width of garage/carport, the greater the setback should be to minimise the impact of the garage/carport on the street facade.

Design and construct vehicle crossovers to be as narrow as possible using permeable materials.

Screen areas of hard paving visible from the street with planting.

Landscaping

Design development to be consistent with the garden character of Port Fairy by:

- Retaining street trees.
- Providing low boundary walls.
- Establishing landscaped cottage gardens.
- Using permeable surfaces.
- Avoiding excavation and parking areas over the root spread of street trees.

Corner lots

Design development on corner lots to present an attractive façade to all street frontages that responds to the heritage characteristics of the area, including similar street setbacks, verandahs, glazing styles, fencing styles and materials.

Primary source

Port Fairy - A study (Cox Tanner Pty Ltd, 1976)

Port Fairy Heritage Citations 2015 (Context Pty Ltd, 2015)

This document is an incorporated document in the Moyne Planning Scheme pursuant to section 6(2)(j) of the *Planning and Environment Act 1987*

OFFICIAL

ASSESSMENT

The dwelling and site are not individually listed in the Moyne Shire Planning Scheme. The heritage significance of the place is the contribution it makes to the overall precinct. The proposed extension has been setback 23.5m from the frontage in order to reduce the visual impacts of the structure. It is acknowledged that the precinct guidelines encourage single storied new buildings and additions, however the applicant is seeking discretion in this instance for a number of reasons.

- Although the extension is two storied, it is a relatively low building of 6.9m high which is comparable to two storied buildings nearby.
- The setback distance reduces the visual bulk of the extension.
- The building footprint of the extension is similar to that of the existing garage on the site.
- There are two storied elements within close proximity.
- The new building has a built form and pitched roof as preferred under the precinct guidelines.
- External materials are in light white tones to suit the existing dwelling and precinct.
- Window placements are proportionate to the wall sizes.
- The garage is setback with accommodation above as suggested by the guidelines.
- The overall site coverage including the pool is less than 50% – a modest 39%, which suggests that the proposal is not an overdevelopment of the site.
- The swimming pool has minimal impact on the heritage significance of the precinct.

Clause 43.02

DESIGN AND DEVELOPMENT OVERLAY

Purpose

To implement the Municipal Planning Strategy and the Planning Policy Framework.

To identify areas which are affected by specific requirements relating to the design and built form of new development.

Clause 43.02-6

Decision guidelines

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The design objectives of the relevant schedule to this overlay.*
- *The provisions of any relevant policies and urban design guidelines.*

- *Whether the bulk, location and appearance of any proposed buildings and works will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *Whether the design, form, layout, proportion and scale of any proposed buildings and works is compatible with the period, style, form, proportion, and scale of any identified heritage places surrounding the site.*
- *Whether any proposed landscaping or removal of vegetation will be in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *The layout and appearance of areas set aside for car parking, access and egress, loading and unloading and the location of any proposed off street car parking*
- *Whether subdivision will result in development which is not in keeping with the character and appearance of adjacent buildings, the streetscape or the area.*
- *Any other matters specified in a schedule to this overlay.*

SCHEDULE 2

SCHEDULE 2 TO CLAUSE 43.02 DESIGN AND DEVELOPMENT OVERLAY

PORT FAIRY TOWN CENTRE RESIDENTIAL PRECINCT

1.0

03/10/2024

C69moyn

Design objectives

To deliver high quality and contemporary design responses that support the integration of new development with Port Fairy's historic character.

To encourage small building footprints that respond to heritage and infrastructure constraints and provide for housing diversity.

To retain the landscape qualities of the precinct and minimise the detrimental visual impact of car parking and outbuildings.

2.0

03/10/2024

C69moyn

Buildings and works

A permit is required to construct a fence unless:

- *The fence is forward of the front façade of the building and does not exceed 1.2 metres in height and is at least 50 per cent permeable.*
- *The fence is behind the front façade of the building and does not exceed 2 metres in height.*

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:

A permit cannot be granted to construct a building or construct or carry out works which are not in accordance with any built form requirements expressed with the term 'must'.

A permit may be granted to vary a built form requirement expressed with the term 'should'.

Site Coverage and Permeability

The combined site coverage of buildings and impermeable surfaces should respect the pattern of building and open space characteristic of the area.

ASSESSMENT

Site coverage including the pool is 39%, permeability is 34% which is well within the required standard for Clause 55.

Building Massing

Buildings should be articulated so that the overall bulk and mass of the building does not compromise the characteristic scale and streetscape rhythm of the precinct.

ASSESSMENT

The new building has a small building footprint of 92 sqm. The building is well articulated and is not out of place with buildings nearby particularly the buildings opposite and abutting.

Building Height

Building height, other than in Wishart Street, should not exceed 7 metres.

In Wishart Street, building heights should not exceed 5 metres and façade heights should not exceed 3 metres.

If the land is in a Floodway Overlay, or Land Subject to Inundation Overlay or is liable to inundation, the maximum building height specified in this schedule is the vertical distance from the minimum floor level determined by the relevant drainage authority or floodplain management authority to the roof or parapet at any point.

ASSESSMENT

Building height is 6.9m.

Building Setbacks

The setbacks of new buildings should retain the established development pattern and respect characteristic setbacks.

First floor extensions should be set back as far as possible from the street to minimise visual intrusion in the rhythm of the streetscape.

Any part of a new building or extension should be set back:

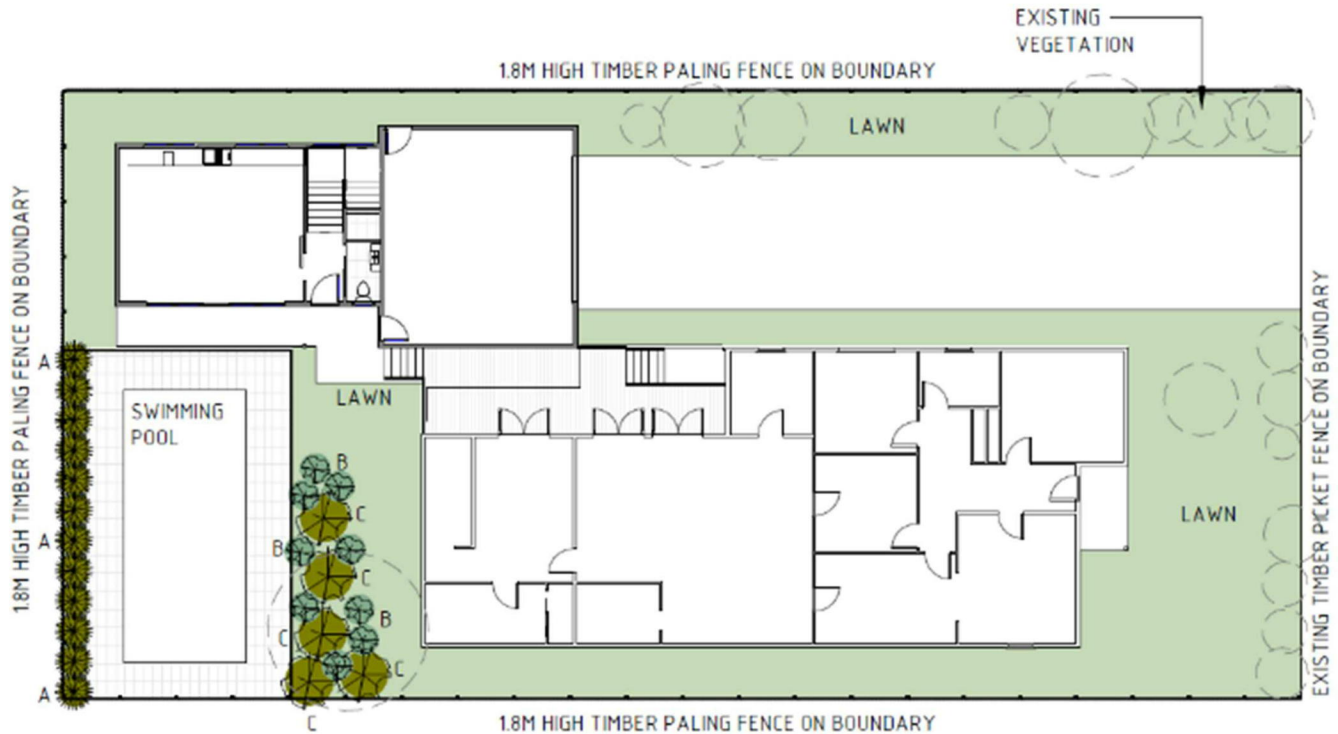
- *At least 2 metres from any side boundary.*
- *A distance of at least 6 metres between buildings on adjacent properties within 10 metres of the building frontage.*

ASSESSMENT

A minor variation is sought for the northern side setback which is 1.2m offset on the ground floor rather than the preferred setback of 2m. This is due to retain reasonable and accessible space of the rear garden and to make good use of existing secluded open space. There are considered no unreasonable amenity impacts the additional 800mm will cause. The first floor of the extension is stepped to achieve the side setback of 2m. The images below shows the existing situation for comparison with the proposed works.



Proposed situation

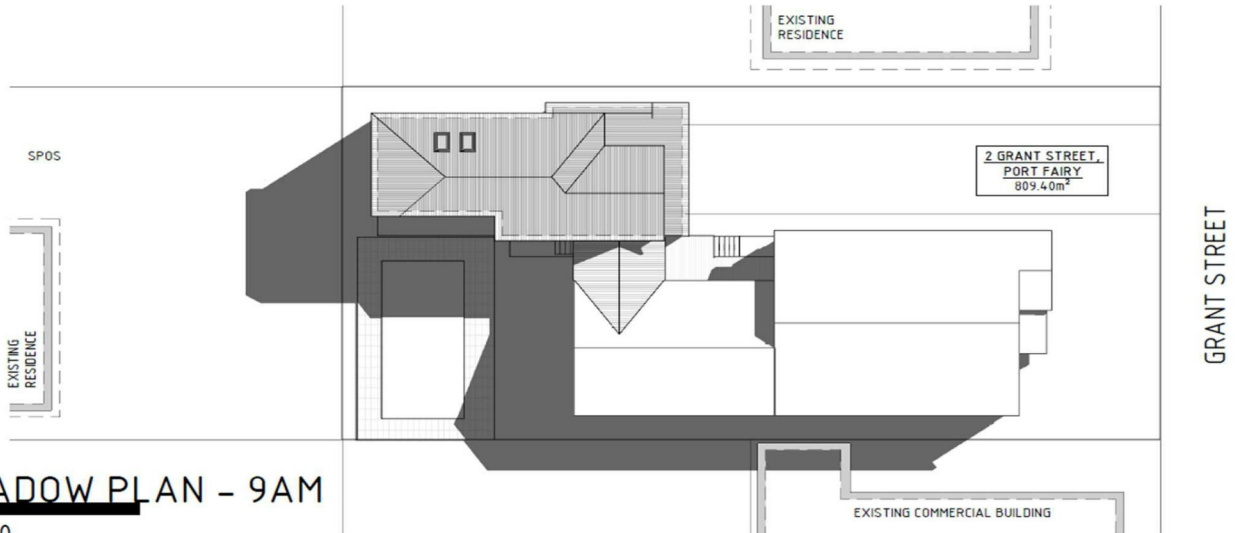


LANDSCAPING PLAN

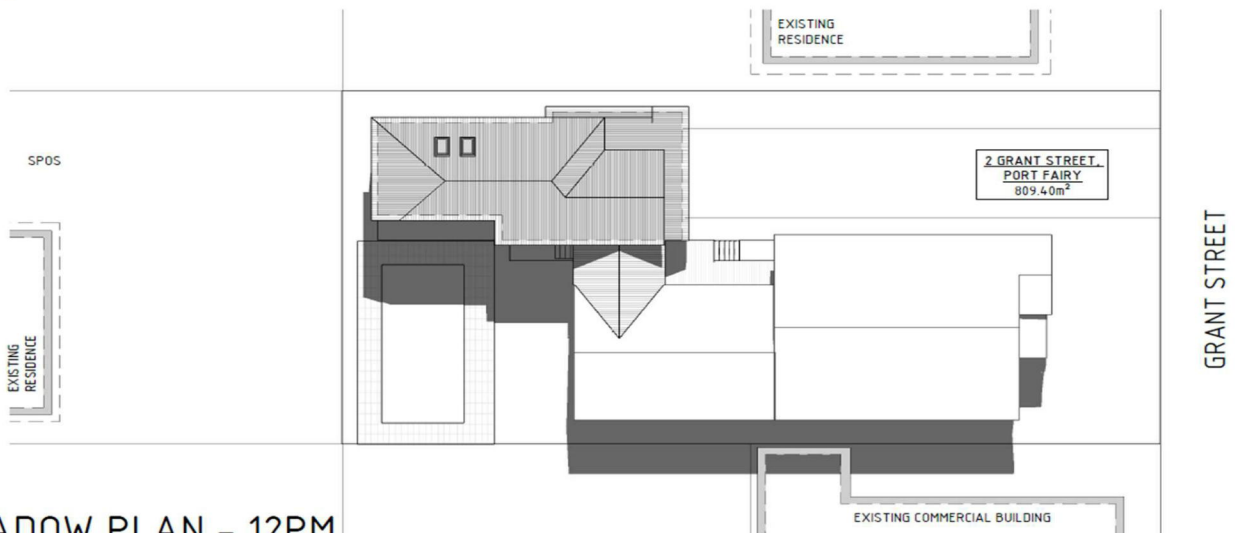
1: 250



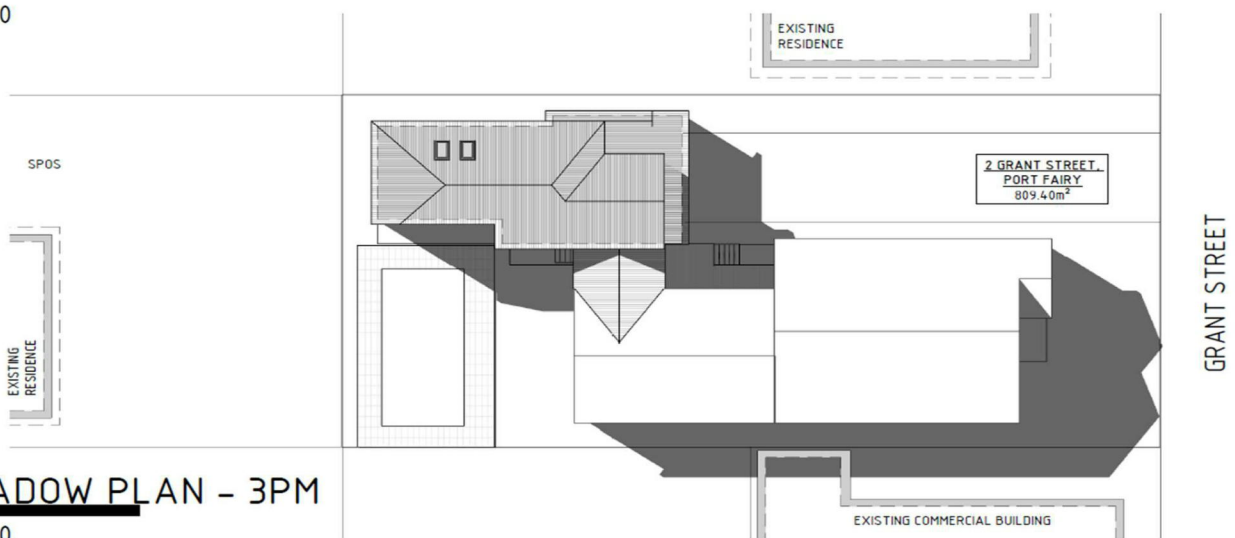
SHADOW PLAN - 9AM
1: 250



SHADOW PLAN - 12PM
1: 250



SHADOW PLAN - 3PM
1: 250



Frontage Presentation

Buildings should provide an attractive edge to the street and support passive surveillance of the street.

ASSESSMENT

The new extension addresses the street and is in keeping with the streetscape.

Design Detailing

Building materials, form, colours and roof pitch should respect the character of the precinct.

When constructing new buildings or extensions or carrying out works:

- *Natural materials such as timber or stone should be used.*
- *Unrendered brickwork or blockwork should be avoided.*
- *Reflective materials should be avoided.*
- *Non-reflective materials should be used for roofs.*
- *Silver aluminium windows or doors should be avoided.*

ASSESSMENT

The extension will be finished in Hardies Linea weather boards in muted light toning's and is non reflective to suit its setting.

Outbuildings and Car Parking

Garages, outbuildings and areas allocated for vehicle parking should be sited to minimise visibility from the street and be designed to be consistent with the character of the precinct.

Garages structures should have a maximum external width of 6.5 metres.

Garages should be set back at least 1 metre behind the main building façade (excluding porticos and projecting windows).

If a garage is set back more than 10 metres from the building frontage, siting on a side boundary is acceptable provided other requirements are met.

Where double garages are provided, these should be accessed by a single width crossover.

ASSESSMENT

The double garage is set back behind the existing dwelling and frontage, accessed via a single width crossover.

Landscaping and Fencing

Landscaping should utilise predominantly indigenous species.

Fences forward of, or parallel to, the front façade should be at least 50 per cent visually permeable.

Service boxes and storage areas should not be located where they are not visible from the street or are visually screened using quality materials or landscaping.

ASSESSMENT

Landscaping and fencing are unchanged except for around the pool which is not visible from the public realm.

Clause 02.03-5

Built environment and heritage

Built environment

Development occurring in coastal areas and between settlements and on highly visible sites has potential to affect landscape character. Larger, more 'imposing' dwellings, that are designed to maximise coastal views, often protrude above existing vegetation and natural landforms.

There is increasing pressure for substantial tourism development in coastal and non-urban locations. Other tourism-related development pressures relate to signs, car parking and viewing platforms.

Heritage

The Shire contains an outstanding collection of heritage places that are recognised as a significant asset and give it a distinctive character.

The Shire has been occupied by three Aboriginal clans and played a key role in local indigenous history, leaving many significant cultural heritage places, including the Budj Bim World Heritage Area, Tower Hill and areas along the coast and river valleys. Distinctive volcanic cultural landscapes contribute to the richness of the Shire's heritage. There is a need to appropriately protect these heritage places and landscapes.

Port Fairy has benefitted from heritage protection for several decades, having been the subject of one of the earliest heritage studies undertaken in Victoria in 1976. In addition, heritage protection has been applied to heritage precincts and significant places in Mortlake. There are places of heritage significance in locations other than Port Fairy and Mortlake that need to be protected from inappropriate development.

The Avenue of Honour on the eastern approach to Mortlake is historically and aesthetically significant to Victoria as a memorial to World War 1 and 2 veterans and is listed on the Victorian Heritage Register.

ASSESSMENT

The new extension and pool have been set back as far back on the block as possible with the intent of preserving the integrity of its heritage streetscapes and distinctive character. The extension is of a modest scale and height comparatively and proportionate to the existing dwelling and lot size and nearby buildings.

Clause 02.03-6

Housing

The population of the Shire is growing, however, it is ageing and household size is declining.

A significant proportion of dwellings in the coastal towns are not permanently occupied, serving as holiday homes. This contributes to a lack of affordable worker accommodation, particularly during peak tourism periods.

Housing affordability and availability of long-term rental stock is declining in the Shire, and there is limited dwelling diversity, due to a low proportion of medium density and small dwellings in urban areas.

There is a need to provide well-located and accessible housing in the Shire to accommodate demand and attract new residents. However, housing growth is subject to infrastructure constraints, and can compromise environmental, heritage, landscape and neighbourhood character values.

The development of housing between settlements and in sensitive locations, such as areas of environmental or landscape significance, including the coastline, is an issue. Ad hoc low density residential and rural living development has the potential to fragment productive agricultural land, cause land use conflicts and create demand for higher level services and infrastructure in rural areas. While a dwelling is generally needed to provide for proper farming, dwellings should be limited to those that genuinely and permanently support agricultural production.

Strategic directions

- *Encourage population growth within all areas of the Shire.*
- *Encourage a range of accommodation opportunities in settlements, including medium density housing, to suit the needs of the Shire's residents.*
- *Facilitate aged and special care accommodation within the Shire.*
- *Support residential development densities that protect the heritage value and neighbourhood character of settlements.*
- *Direct rural living development to areas already zoned for this purpose within and on the periphery of existing settlements to enable access to available community facilities and physical infrastructure.*
- *Discourage rural residential development in areas of agricultural, cultural heritage, environmental or landscape value.*

ASSESSMENT

The proposal is taking advantage of a generous block size to accommodate additional living accommodation and to make good use of existing infrastructure for use by the extended family and friends of the current owners.

11.02-1S

Supply of urban land

Objective

To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.

Strategies

Ensure the ongoing provision of land and supporting infrastructure to support sustainable urban development.

Ensure that sufficient land is available to meet forecast demand.

Plan to accommodate projected population growth over at least a 15 year period and provide clear direction on locations where growth should occur. Residential land supply will be considered on a municipal basis, rather than a town-by-town basis.

Planning for urban growth should consider:

- *Opportunities for the consolidation, redevelopment and intensification of existing urban areas.*
- *Neighbourhood character and landscape considerations.*
- *The limits of land capability and natural hazards and environmental quality.*
- *Service limitations and the costs of providing infrastructure.*

Monitor development trends and land supply and demand for housing and industry.

Maintain access to productive natural resources and an adequate supply of well-located land for energy generation, infrastructure and industry.

Restrict rural residential development that would compromise future development at higher densities.

ASSESSMENT

The proposal is an example of urban consolidation by adding additional floor area to the dwelling without over extending its building footprint which is encouraged by planning in Victoria to help ease the housing crisis and make good use of serviced land.

Clause 15.03-1S

Heritage conservation

Objective

To ensure the conservation of places of heritage significance.

Strategies

Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.

Provide for the protection of natural heritage sites and man-made resources.

Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.

Encourage appropriate development that respects places with identified heritage values.

Retain those elements that contribute to the importance of the heritage place.

Encourage the conservation and restoration of contributory elements of a heritage place.

Ensure an appropriate setting and context for heritage places is maintained or enhanced.

ASSESSMENT

The proposal is not in conflict with state heritage policy as the proposed works are modest in scale nor do they diminish the heritage values of the precinct.

16.01-1S Housing supply

Objective

To facilitate well-located, integrated and diverse housing that meets community needs.

Strategies

Ensure that an appropriate quantity, quality and type of housing is provided, including aged care facilities and other housing suitable for older people, supported accommodation for people with disability, rooming houses, student accommodation and social housing.

Increase the proportion of housing in designated locations in established urban areas (including under-utilised urban land) and reduce the share of new dwellings in greenfield, fringe and dispersed development areas.

Encourage higher density housing development on sites that are well located in relation to jobs, services and public transport.

Identify opportunities for increased residential densities to help consolidate urban areas.

Facilitate diverse housing that offers choice and meets changing household needs by widening housing diversity through a mix of housing types.

Encourage the development of well-designed housing that:

- *Provides a high level of internal and external amenity.*
- *Incorporates universal design and adaptable internal dwelling design.*

Support opportunities for a range of income groups to choose housing in well-serviced locations.

Plan for growth areas to provide for a mix of housing types through a variety of lot sizes, including higher housing densities in and around activity centres.

ASSESSMENT

The proposed works are supplementary to a modest sized mid-century 20th dwelling on a site which is well placed to provide residential accommodation in the centre of Port Fairy and close to shopping and day to day amenities of Port Fairy including public transport.

Clause 65.01

APPROVAL OF AN APPLICATION OR PLAN

Before deciding on an application or approval of a plan, the responsible authority must consider, as appropriate:

- *The matters set out in section 60 of the Act.*
- *Any significant effects the environment, including the contamination of land, may have on the use or development.*
- *The Municipal Planning Strategy and the Planning Policy Framework.*
- *The purpose of the zone, overlay or other provision.*
- *Any matter required to be considered in the zone, overlay or other provision.*
- *The orderly planning of the area.*
- *The effect on the environment, human health and amenity of the area.*
- *The proximity of the land to any public land.*
- *Factors likely to cause or contribute to land degradation, salinity or reduce water quality.*
- *Whether the proposed development is designed to maintain or improve the quality of stormwater within and exiting the site.*
- *The extent and character of native vegetation and the likelihood of its destruction.*
- *Whether native vegetation is to be or can be protected, planted or allowed to regenerate.*
- *The degree of flood, erosion or fire hazard associated with the location of the land and the use, development or management of the land so as to minimise any such hazard.*

- *The adequacy of loading and unloading facilities and any associated amenity, traffic flow and road safety impacts.*
- *The impact the use or development will have on the current and future development and operation of the transport system.*

This clause does not apply to a VicSmart application.

ASSESSMENT

The application is considered to meet the requirements of Clause 65 in the following ways:

- The proposal is small scale in and meets the purpose and requirements of the heritage overlay and design development overlay.
- There are no detrimental effects on the environment as stormwater and waste water which will be managed in conjunction with the existing dwelling or via permit conditions.
- There are no additional traffic impacts, and the proposal represents orderly planning.
- The proposal does not conflict with the PPF or LPPF.
- The proposal meets Clause 55.

SUMMARY

The proposed extension and swimming pool are intended to strike a balance of slightly increasing floor area of the dwelling whilst preserving the heritage attributes of the precinct.

In doing this, the siting of the extension, although two storied, has been set well back to diminish any height impacts as demonstrated by the rendered images supplied in this report and the plans.

The footprint of the extension is modest to maintain an open spacious feel to the site, and maintain a low building site coverage, in keeping with the northern end of the streetscape.

The swimming pool is not really visible from the public realm.

The proposal has been assessed against the requirements of the H013, DD02, MPS and the PPF and Clause 65 and found to be generally compliant.

It is therefore hoped that the proposal is supported by Council.