

DDO23 Extent

Paddocks

Property Boundary

Property Boundary

Existing Effluent Field 330 sqM

Legend	
	Property Boundary
	Titles
	Roads
	Contours 10M
	Existing Dwelling
	Proposed House Site
	Existing Effluent Field
	Outbuildings
	Water Tanks
	Reconfigured Access
	Paddocks

29.1 M

18.2 M

Farm Sheds

New Dwelling

Existing Dwelling

Reconfigured 3 Metre Wide Gravelled Access

SUSANS LANE

SUSANS LANE

0 50 m

50 Susans Lane Yarpturk Replacement Dwelling Site and Separations Map

Mercator
Lon: 142°25'50" E Lat: 38°17'07" S
Printed at: 21/01/2025
Scale: 1:680



MAPLETON 30

ASPIRE

DRAWING LIST

SHEET No.	SHEET NAME	SHEET No.	SHEET NAME
F01-00	COVER SHEET		
F01-01	GENERAL NOTES		
F01-02	SITE PLAN		
F01-03	FLOOR PLAN		
F01-04	ROOF PLAN		
F01-05	ELEVATIONS		
F01-06	ELEVATIONS		
F01-07	SECTION		
F01-08	FLOOR COVERINGS		
F01-09	ELECTRICAL PLAN		
F01-14	SLAB PLAN		
F01-A2	WINDOW SCHEDULE		
F01-A3	DOOR SCHEDULE		

REVISIONS

REVISIONS

REV.	DESCRIPTION	DATE	DRAWN	CHECKED

DRAWING TITLE:
COVER SHEET

SCALE (A3)

Do NOT scale this drawing.
All written dimensions take precedence
over scaled dimension. If in doubt, ASK.

FREEDOM

SPEC: BASE

DESIGN:
MAPLETON 30

FACADE:
ASPIRE

PRODUCT CODE:
VF3MAP30APRSN

CEILING:
24G L

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149

Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
Tel: 1300 786 773
www.metriconhomes.com.au

© COPYRIGHT
Metricon homes owns copyright
Unauthorised use, reproduction
or adaption is forbidden and will
be prosecuted.

OWNER: METRICON HOMES		JOB N°: TBC		PERMIT N°: TBC	
VIC		WIND SPEED: TBC		MASTER ISSUED: 01/04/2023	
DRAWN: NV, LN		CHECKED: MW		SHEET:	
MASTER PLAN		DATE: 09/02/2023		F01-00/14	

10/01/2025 12:33:13 PM

NOTE: SHADOWS SHOWN HERE ARE NOT SITE SPECIFIC. THEY ARE ADDED TO HELP UNDERSTAND THE VOLUME AND SHAPE OF HOME.

STANDARD NOTES:

AS PER NCC 2022

GENERAL

- REFER TO ALL ASSOCIATED ENGINEERING DRAWINGS FOR DESIGN AND CONSTRUCTION REQUIREMENTS OF STRUCTURAL, SLAB & HYDRAULIC ELEMENTS (where applicable).
- WRITTEN DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE.
- FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
- INTERNAL ELEVATION DIMENSIONS ARE TO PLASTER.
- ALL DIMENSIONS ARE SUBJECT TO SITE MEASURE.

FRAMING

- ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH AS1684.2-2021 NATIONAL TIMBER FRAMING CODE & OR ENGINEERS STRUCTURAL COMPUTATIONS.
- PREFABRICATED ROOF TRUSSES TO MANUFACTURERS SPECIFICATIONS & LAYOUTS.
- WALL BRACING, FIXING, TIE DOWNS, DURABILITY NOTES & ANY ADDITIONAL ENGINEERING REQ. TO BE AS PER ENGINEERS DETAIL
- SPECIFIED EAVE WIDTH, MEASURED FROM FACE OF BRICK (UNO).
- PROVIDE 2No. JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAILS-TYP-DOOR-01N.
- ENSURE RETURN AIR GRILLE & AC VOIDS ARE CLEAR OF TRUSS &/OR FRAMING CONSTRUCTION.

CEILING/WALL - GENERAL

- PROVIDE PLASTER LINED CEILINGS TO ALL AREAS (UNO).
- SOFFITS 4.5mm FC SHEET (UNO).
- ALL PARAPET WALLS TO BE PROVIDED WITH COLORBOND METAL CAPPING/FLASHING (50mm MIN LAP TO ALL JOINS WITH CONTINUOUS SILICON SEAL BETWEEN & 50mm MIN VERTICAL OVERHANG.)
- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5
- WATERPROOFING FOR EXTERNAL ABOVE GROUND USE TO COMPLY WITH AS4654.1-2012 & AS4654.2-2012.

STEPS/STAIRS & BALUSTRADES

- ALL STEPS MUST COMPLY WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.2
- BARRIERS & HANDRAILS MUST COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3
- BALUSTRADE IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.3 TO BE INSTALLED WHERE VOIDS, OR INTERNAL & EXTERNAL LANDINGS EXCEED 1000mm ABOVE FINISHED GROUND/FLOOR LEVEL.
- PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH NCC 2022 H5D2 HOUSING PROVISIONS 11.2.4 & AS4586-2013.
- STAIRS ARE INDICATIVE ONLY. REFER TO DETAILS, SPECIFICATIONS & SELECTION DOCUMENTS.

WET AREAS

- WATERPROOFING OF WET AREAS TO COMPLY WITH NCC 2022 H4D2 HOUSING PROVISIONS 10.2 INCLUDING STATE VARIATIONS AND ADDITIONS.
- WALL LINING TO WET AREAS TO BE APPROVED WET AREA BOARD (UNO).
- ALL INWARD SWING HINGED WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 2022 H4D5 HOUSING PROVISIONS 10.4.2

WINDOWS & DOORS

- CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNO).
- SIZES NOMINATED AS A GENERIC CODE (UNO). FIRST 2 NUMBERS REFER TO HEIGHT & SECOND 2 RELATE TO WIDTH.
- EXTERNAL WINDOWS & DOORS TO COMPLY WITH NCC 2022 H6D1 HOUSING PROVISIONS 13.4.4.
- WINDOWS TO COMPLY WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6.
- ALL GLAZING TO COMPLY WITH AS1288-2021 & AS2047-2014, & WITH AS4055-2021 FOR WIND LOADING (UNO).
- WINDOWS SHALL BE PROTECTED IN ACCORDANCE WITH NCC 2022 H5D3 HOUSING PROVISIONS 11.3.7 & 11.3.8
- WINDOW SUPPLIER TO SUPPLY COVER BOARDS TO ALL CORNER WINDOWS (UNO).
- PROVIDE LIGHTWEIGHT CLADDING ABOVE ALL CORNER WINDOWS & CORNER DOORS (UNO).
- SAFETY GLAZING IN HUMAN IMPACT AREAS INCLUDING ADJACENT TO BATHS OR SHOWERS TO BE IN ACCORDANCE WITH NCC 2022 H1D8 HOUSING PROVISIONS 8.4.6

ENERGY EFFICIENCY NOTES

NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, BASED ON SPECIFIC SITING. REFER TO SPECIFICATION & CONTRACT DOCUMENTATION.

- PROVIDE BULK CEILING INSULATION & EXTERNAL WALL INSULATION AS PER STD SPECIFICATIONS (UNO).
- PROVIDE WEATHER STRIPPING TO WINDOWS & ALL EXTERNAL HINGED DOORS.
- PROVIDE DRAFT PREVENTION TO EXHAUST FANS, AS PER RELEVANT BUILDING CODES.
- SEALED GAPS AROUND WINDOWS & EXTERNAL DOORS TO BE INSTALLED IN ACCORDANCE WITH NCC 2022 H1D7 HOUSING PROVISIONS 7.5.6 & AS/NZS 2904-1995.
- INSULATION OF SERVICES AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.2
- HEATING AND COOLING DUCTWORK AS PER NCC 2022 HOUSING PROVISIONS H6D2 13.7.4 & SEALING PER AS4254-2021.
- ARTIFICIAL LIGHTING AS PER NCC 2022 H6D2 HOUSING PROVISIONS 13.7.6
- WHERE APPLICABLE, PROVIDE SUB-FLOOR VENTILATION IN ACCORDANCE WITH NCC 2022 H2D5 HOUSING PROVISIONS 6.2.1 TO SUSPENDED TIMBER FLOORS.

MISCELLANEOUS

- PROVIDE CAVITY FLASHING & WEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5.
- PLIABLE BUILDING MEMBRANES TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.1 & AS4200.1-2017 & BE INSTALLED IN ACCORDANCE WITH AS4200.2-2017.
- ALL PLUMBING, DRAINAGE & ASSOCIATED WORKS TO COMPLY WITH THE PLUMBING CODE OF AUSTRALIA, NCC 2022 H2D2 HOUSING PROVISIONS 3.3 & AS/NZS 3500.3-2021.
- PROVIDE MINIMUM 115mm SLOTTED GUTTERS WITH APPROVED OVERFLOW PROVISIONS AS REQUIRED.
- ALL EXHAUST FANS TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.2
- WHERE REQUIRED, BATHROOM AND SANITARY COMPARTMENT EXHAUST FANS TO ACHIEVE A MINIMUM FLOW RATE OF 25 L/s, & 40 L/s FOR A KITCHEN OR LAUNDRY.
- PROVIDE TERMITE MGT. SYSTEM AS PER AS3660.1-2014.
- ALL SMOKE ALARMS TO COMPLY WITH AS3786-2014, CONNECTED TO MAINS POWER, AND INTERCONNECTED WHERE APPLICABLE. INSTALLATION TO BE IN ACCORDANCE WITH NCC 2022 H3D6 HOUSING PROVISIONS 9.5.4
- LOCATIONS OF ELECTRICAL COMPONENTS & VENTS SHOWN ARE INDICATIVE ONLY, AND MUST BE INSTALLED TO REQUIRED DISTANCES FROM WALL & CEILING JUNCTIONS.
- BUILDINGS IN BUSHFIRE PRONE AREAS TO COMPLY WITH AS3959-2018.
- DWELLINGS WITHIN 1km OF A BAY/10km OF A SURF COAST MUST HAVE ALL STEEL & MORTAR IN ACCORDANCE WITH SECTION 5 OF AS3700-2018.
- TEMPORARY DOWNPIPES TO BE INSTALLED DURING CONSTRUCTION TO PREVENT WATER PONDING NEAR THE FOOTINGS.

STEEL FRAMING REQUIREMENTS (WHERE APPLICABLE):





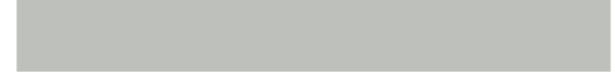
- STEEL FRAME & TRUSSES REQUIRING THE ISSUE OF A SIGNED COMPLIANCE CERTIFICATE FOR THE BUILDING DESIGN - FORM 15 UPON COMPLETION AND PRIOR TO FINAL CERTIFICATION
- STEEL FRAMES AND TRUSSES TO COMPLY WITH:
 - AS/NZS 1170.0-2002 STRUCTURAL DESIGN ACTIONS: PART 0: GENERAL PRINCIPLES
 - AS/NZS 1170.1-2002 STRUCTURAL DESIGN ACTIONS: PART 1: PERMANENT, IMPOSED AND OTHER ACTIONS
 - AS/NZS 4600-2018 COLD-FORMED STEEL STRUCTURES
 - AS4055-2021 WIND LOADS FOR HOUSING
 - AS4100-2020 STEEL STRUCTURES CODE
 - AS3623-1993 DOMESTIC METAL FRAMING
 - AS3566.1-2002 SELF DRILLING SCREWS
 - NASH STANDARDS

STEEL FRAMING SUPPLIER TO PROVIDE DESIGN, CONNECTORS AND FIXING HARDWARE FOR ALL STEEL TO STRUCTURAL TIMBER MEMBERS (UNO BY ENGINEER).

FACADE DETAIL

S-TYP-TBA

Exterior Colour Scheme

	Roof Colourbond Shale Grey®
	Gutters Colourbond Shale Grey®
	Walls/ Brickwork Aurora Nubrik Austral
	Doors and Windows Pearl White
	Trim Colourbond Shale Grey®

NOTES:

- REFER TO "METRICON - WINDOW AND DOOR CODE SIZE GUIDE"

DRAWING TITLE:

GENERAL NOTES



SCALE (A3)

Do NOT scale this drawing.
All written dimensions take precedence over scaled dimension. *If in doubt, ASK.*



FREEDOM

SPEC: BASE

DESIGN:
MAPLETON 30

FACADE:
ASPIRE

PRODUCT CODE:
VF3MAP30APRSN

CEILING:
24G L

OWNER:
METRICON HOMES

VIC

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
Tel: 1300 786 773
www.metriconhomes.com.au

© COPYRIGHT
Metricon homes owns copyright
Unauthorised use, reproduction or adaption is forbidden and will be prosecuted.

JOB N°: TBC PERMIT N°: TBC

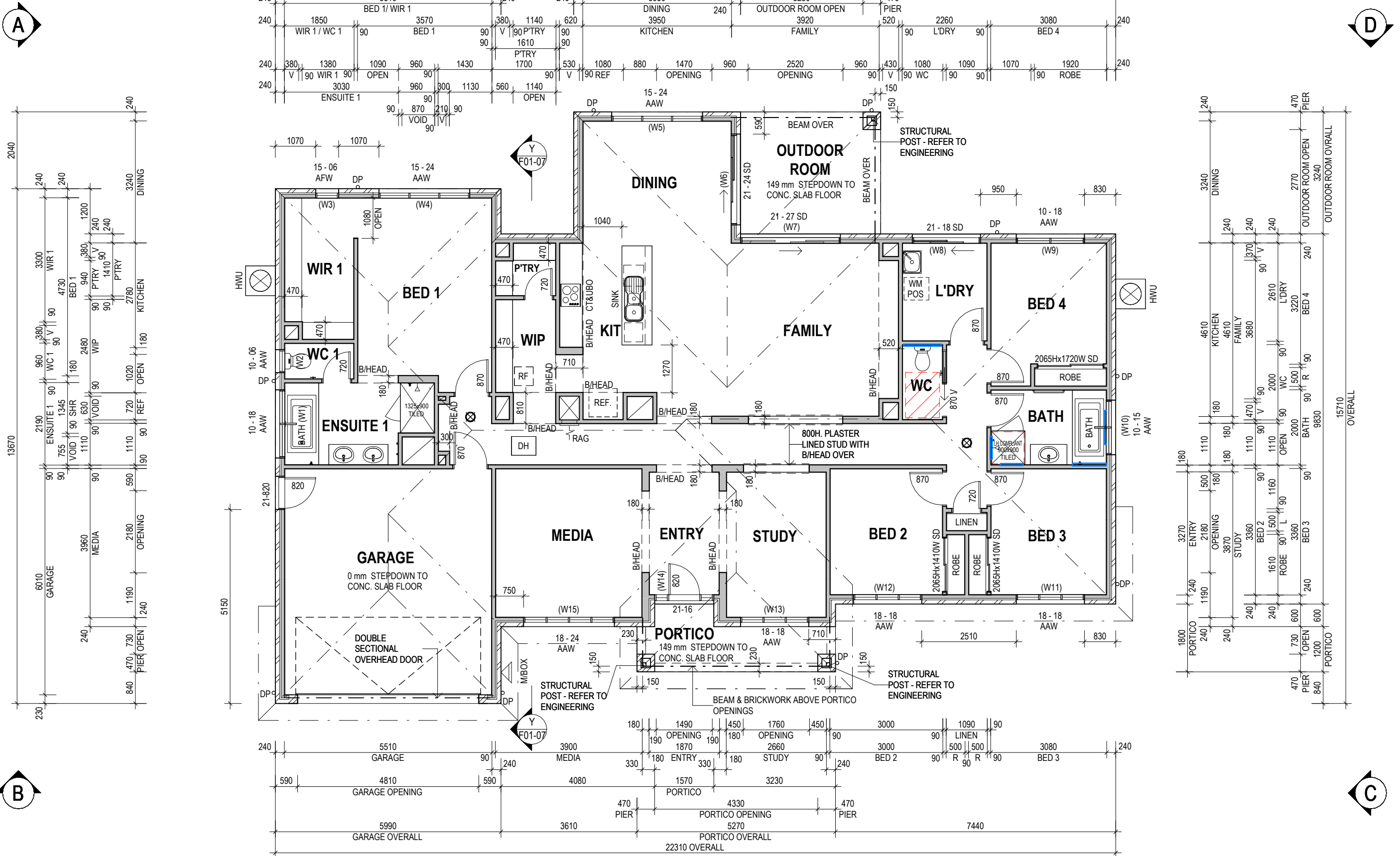
WIND SPEED: TBC MASTER ISSUED: 01/04/2023

DRAWN: NV, LN CHECKED: MW SHEET:

MASTER PLAN
DATE: 09/02/2023

F01-01/14

10/01/2025 12:33:16 PM



NOTES:

- CENTRE ALL WINDOWS & EXTERNAL DOORS INTERNALLY TO ROOM (UNO) INTERNAL HINGED DOORS TO BE CENTRED TO THE HALLWAY
- 200D. BULKHEAD THROUGHOUT (U.N.O)

900W. x 1200D. CIRCULATION SPACE TO FRONT EDGE OF TOILET PAN

IN WALL REINFORCING REFER DETAIL

LEGEND:

- UNDER STAIR WALLS (WHERE APPLICABLE) - TO BE BUILT AFTER STAIR
- 70MM STUD WALLS
- (Noted on INTERNAL DOOR size) = 20mm MAX. UNDERCUT
- DUCTED HEATING RETURN AIR WALL GRILLE
- DUCTED HEATING UNIT LOCATION
- ROOF ACCESS
- SMOKE ALARM

AREA	m ²	SQR
GROUND FLOOR	224.68 m ²	24.18
TOTAL LIVING	224.68 m ²	24.18
PORTICO	7.27 m ²	0.78
OUTDOOR ROOM	12.05 m ²	1.30
GARAGE	36.37 m ²	3.91
TOTAL OTHER	55.69 m ²	5.99
TOTAL	280.37 m ²	30.18

DRAWING TITLE:
FLOOR PLAN

Do NOT scale this drawing. All written dimensions take precedence over scaled dimension. If in doubt, ASK.

SCALE 1: 100 (A3)

metricon **FREEDOM**

SPEC: BASE

DESIGN:
MAPLETON 30

PRODUCT CODE:
VF3MAP30APRSN

OWNER:
METRICON HOMES

CEILING:
24G L

FAÇADE:
ASPIRE

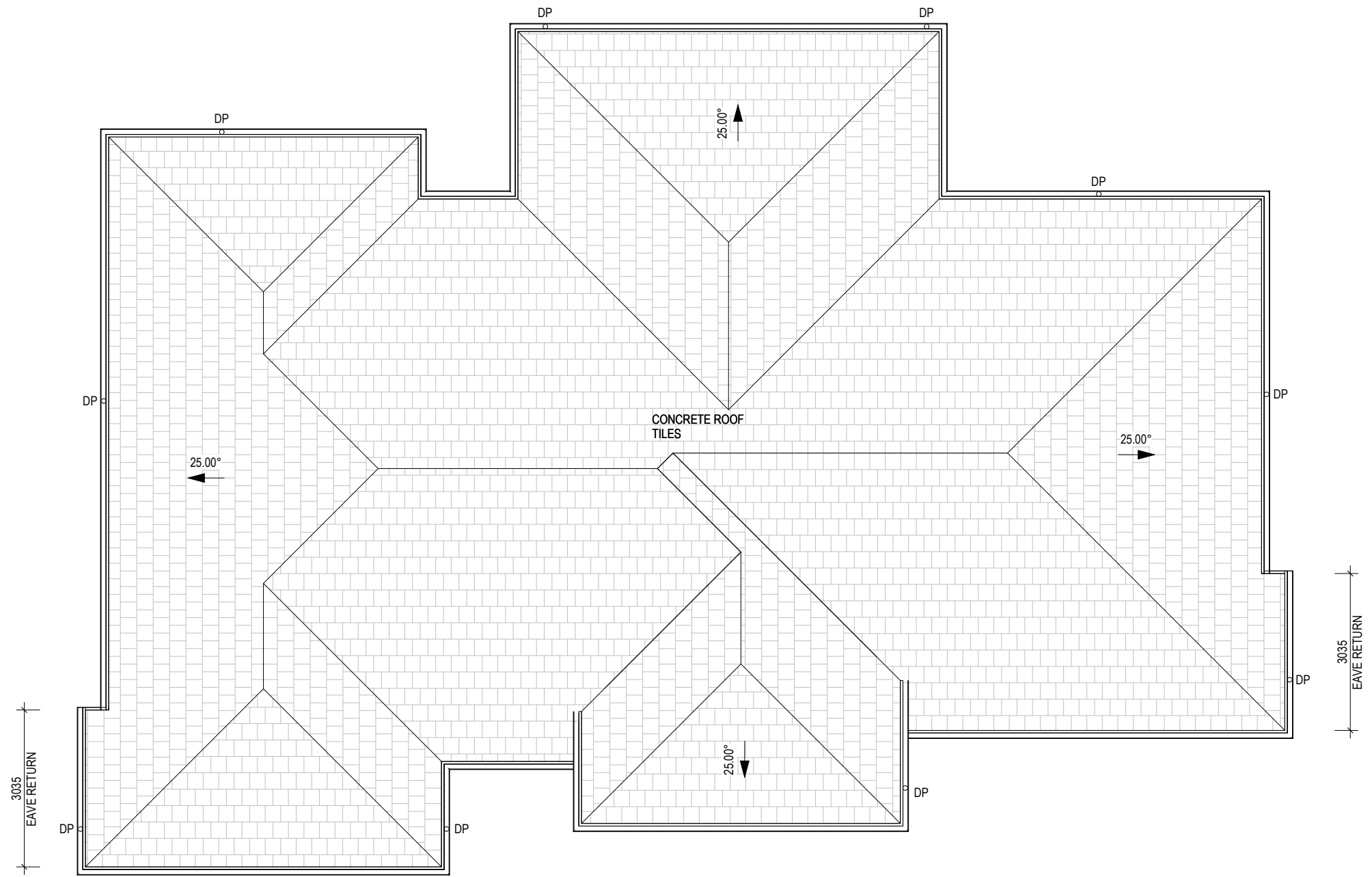
501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149

© COPYRIGHT
Metricon homes owns copyright
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
Unauthorised use, reproduction or adaption is forbidden and will be prosecuted.

JOB N°: TBC	PERMIT N°: TBC
WIND SPEED: TBC	MASTER ISSUED: 01/04/2023
DRAWN: NV, LN	CHECKED: MW
MASTER PLAN	
DATE: 09/02/2023	
SHEET: F01-03/14	

A

D

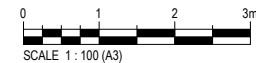


B

C

10/01/2025 12:33:17 PM

DRAWING TITLE:
ROOF PLAN



Do NOT scale this drawing.
All written dimensions take precedence
over scaled dimension. *If in doubt, ASK.*



FREEDOM

SPEC: BASE

DESIGN:
MAPLETON 30

FACADE:
ASPIRE

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
Tel: 1300 786 773
www.metricronhomes.com.au

PRODUCT CODE:
VF3MAP30APRSN

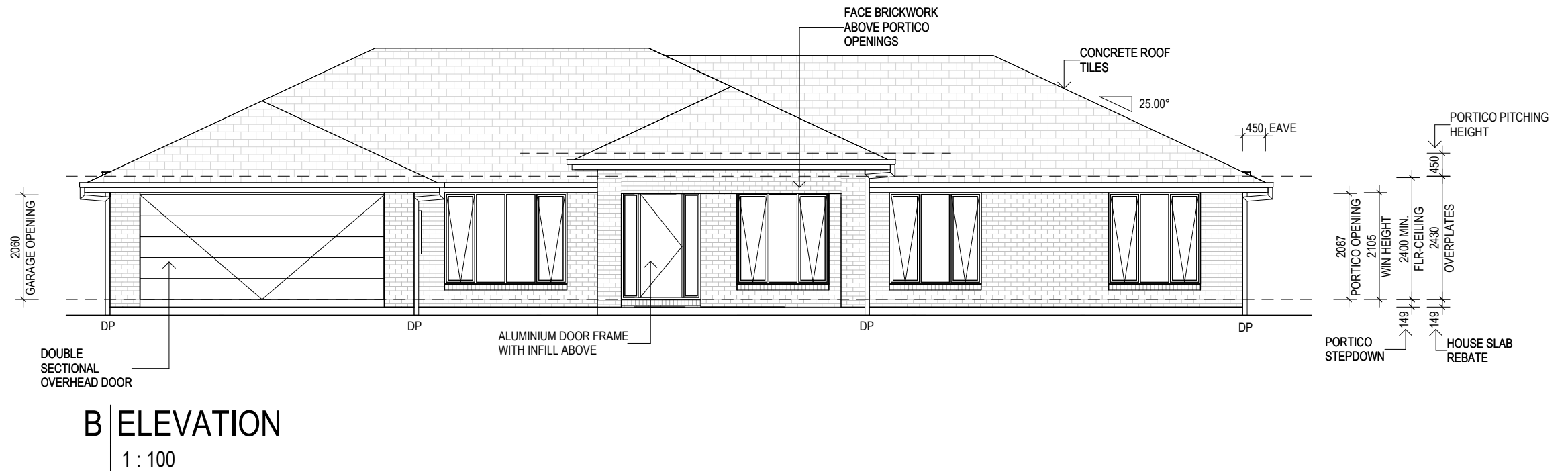
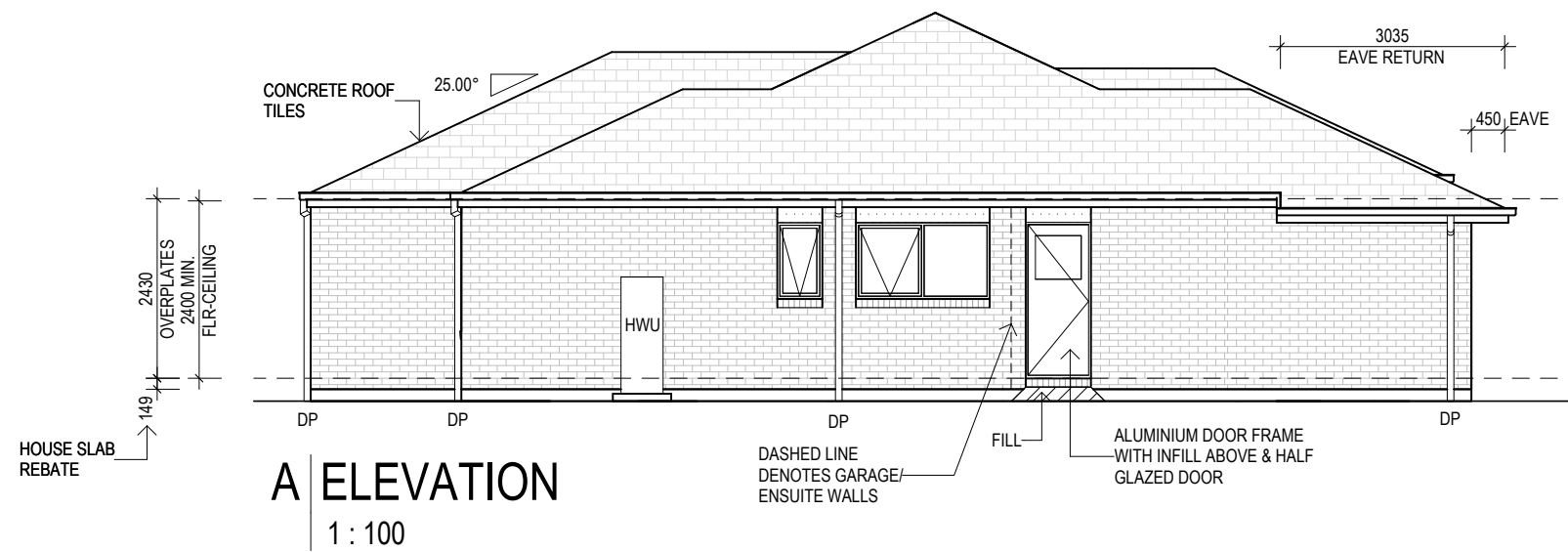
CEILING:
24G L

© COPYRIGHT
Metricron homes owns copyright
Unauthorised use, reproduction
or adaption is forbidden and will
be prosecuted.

OWNER:
METRICRON HOMES

VIC

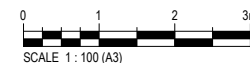
JOB N°:	TBC	PERMIT N°:	TBC
WIND SPEED:	TBC	MASTER ISSUED:	01/04/2023
DRAWN:	NV, LN	CHECKED:	MW
MASTER PLAN			SHEET:
DATE: 09/02/2023			F01-04/14



NOTES:

- PROVIDE F.C SHEET INFILL ABOVE ALL SIDE AND REAR ELEVATION WINDOWS & DOORS AS REQUIRED UNLESS NOTED OTHERWISE
- PROVIDE F.C INFILL ABOVE FRONT ENTRY DOOR FRAME & ABOVE GARAGE DOOR OPENING UNLESS NOTED OTHERWISE

DRAWING TITLE:
ELEVATIONS



Do NOT scale this drawing.
All written dimensions take precedence
over scaled dimension. *If in doubt, ASK.*

DESIGN:
MAPLETON 30

FACADE:
ASPIRE

PRODUCT CODE:
VF3MAP30APRSN

CEILING:
24G L

OWNER:
METRICON HOMES

VIC



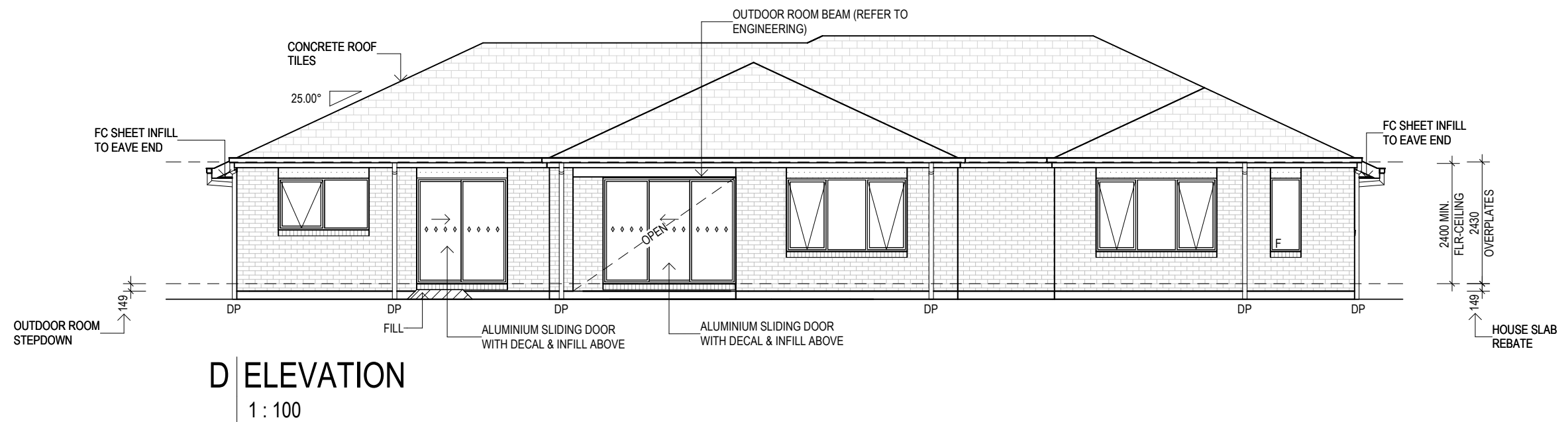
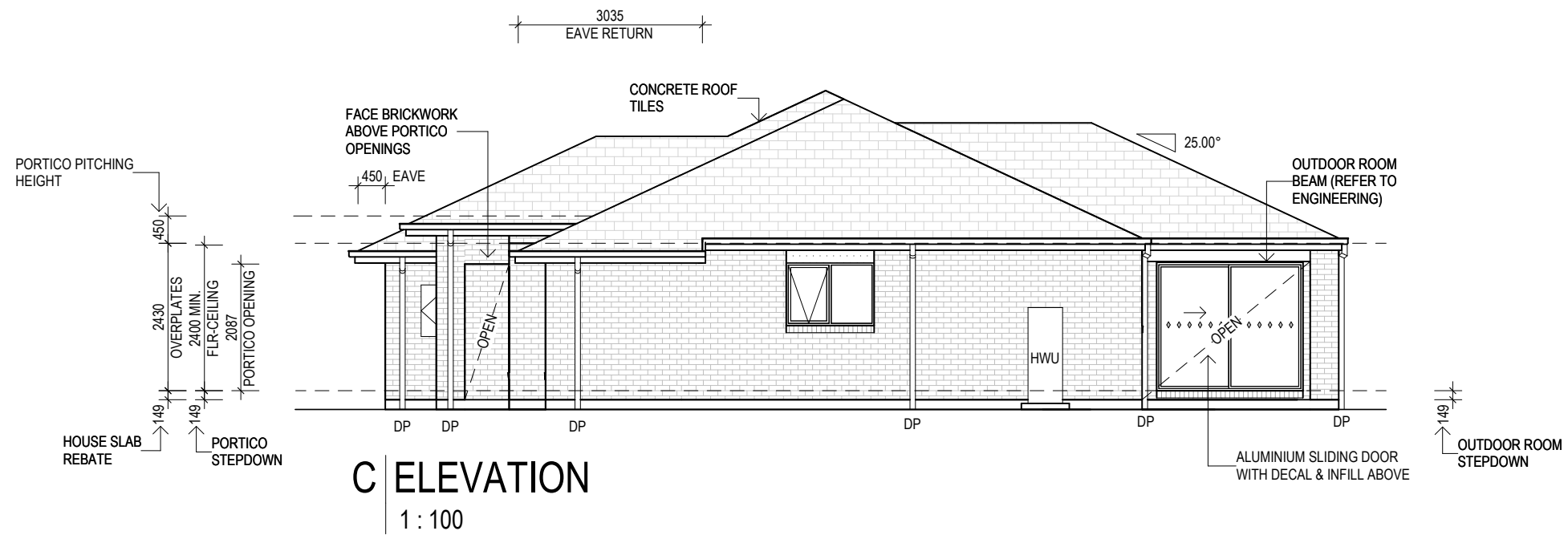
FREEDOM

SPEC: BASE

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
Tel: 1300 786 773
www.metriconhomes.com.au

© COPYRIGHT
Metricon homes owns copyright
Unauthorised use, reproduction
or adaptation is forbidden and will
be prosecuted.

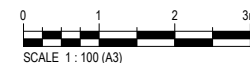
JOB N°:	TBC	PERMIT N°:	TBC
WIND SPEED:	TBC	MASTER ISSUED:	01/04/2023
DRAWN:	NV, LN	CHECKED:	MW
MASTER PLAN			SHEET:
DATE: 09/02/2023			F01-05/14



NOTES:

- PROVIDE F.C SHEET INFILL ABOVE ALL SIDE AND REAR ELEVATION WINDOWS & DOORS AS REQUIRED UNLESS NOTED OTHERWISE

DRAWING TITLE:
ELEVATIONS



Do NOT scale this drawing.
All written dimensions take precedence over scaled dimension. *If in doubt, ASK.*

DESIGN:
MAPLETON 30

FACADE:
ASPIRE

PRODUCT CODE:
VF3MAP30APRSN

CEILING:
24G L

OWNER:
METRICON HOMES

VIC



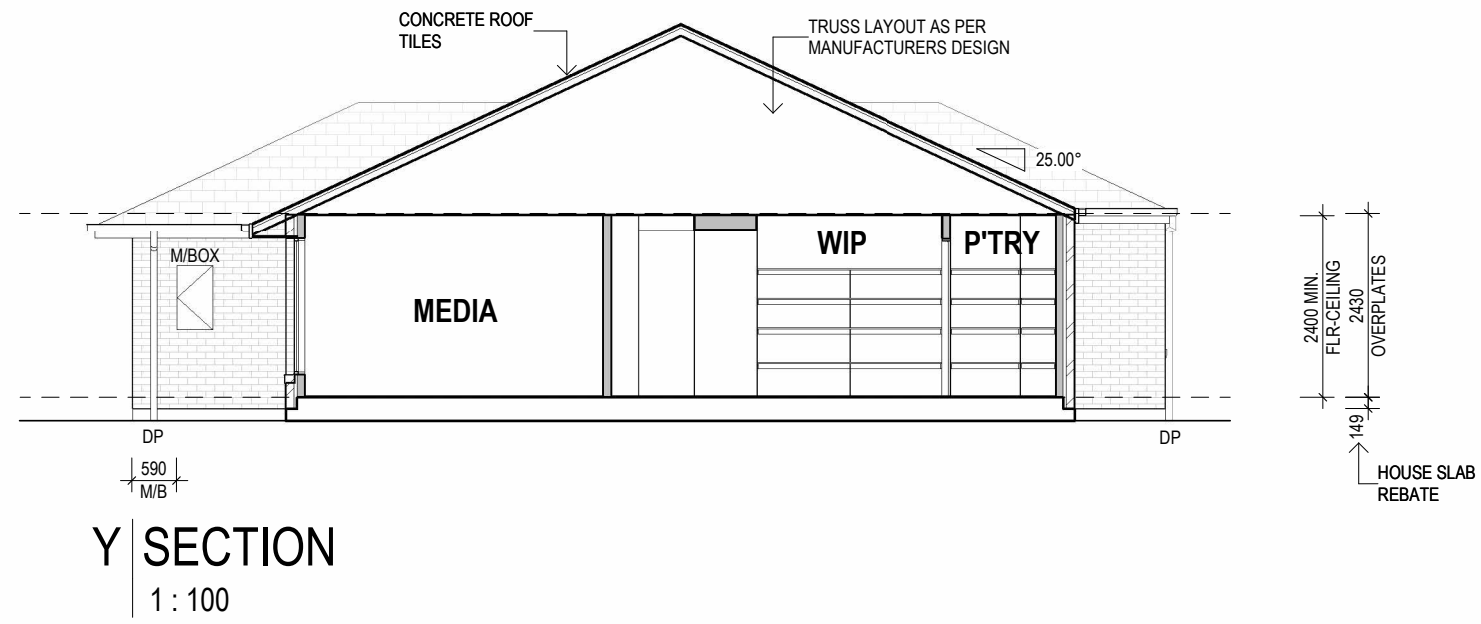
FREEDOM

SPEC: BASE

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
Tel: 1300 786 773
www.metriconhomes.com.au

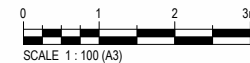
© COPYRIGHT
Metricon homes owns copyright
Unauthorised use, reproduction or adaption is forbidden and will be prosecuted.

JOB N°:	TBC	PERMIT N°:	TBC
WIND SPEED:	TBC	MASTER ISSUED:	01/04/2023
DRAWN:	NV, LN	CHECKED:	MW
MASTER PLAN			SHEET:
DATE: 09/02/2023			F01-06/14



NOTE: SECTION VIEW IS INDICATIVE ONLY- CONSTRUCTION DETAILS, COLOUR SELECTION & CONTRACT DOCUMENTATION ITEMS TAKE PRECEDENCE

DRAWING TITLE:
SECTION



Do NOT scale this drawing.
All written dimensions take precedence over scaled dimension. *If in doubt, ASK.*



FREEDOM

SPEC: BASE

DESIGN:
MAPLETON 30

FACADE:
ASPIRE

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
Tel: 1300 786 773
www.metricronhomes.com.au

PRODUCT CODE:
VF3MAP30APRSN

CEILING:
24G L

© COPYRIGHT
Metricron homes owns copyright
Unauthorised use, reproduction or adaption is forbidden and will be prosecuted.

OWNER:
METRICRON HOMES

VIC

JOB N°: TBC PERMIT N°: TBC

WIND SPEED: TBC MASTER ISSUED: 01/04/2023

DRAWN: NV, LN CHECKED: MW

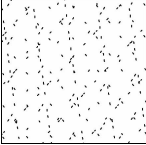
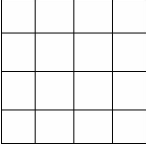
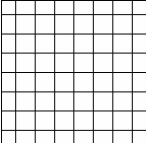
SHEET:

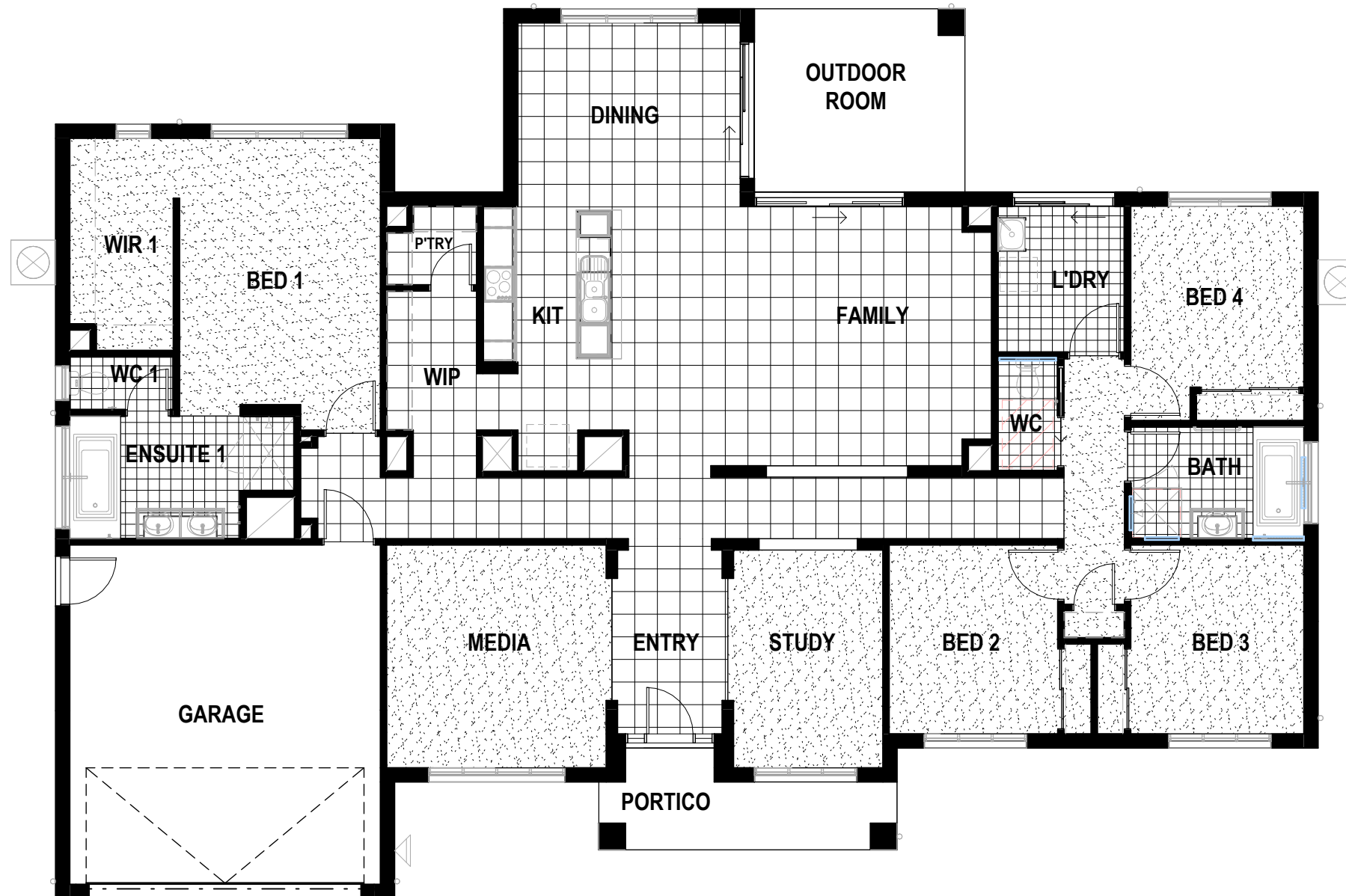
MASTER PLAN
DATE: 09/02/2023

F01-07/14

MASTER PLAN NOTE: ONLY WET AREA AND BALCONY (WHERE BALCONY IS ADOPTED) TILES ARE PROVIDED AS STANDARD. REFER TO SPECIFICATION DOCUMENT DETAILS. ADDITIONAL FLOOR COVERINGS SHOWN ARE INDICATIVE.

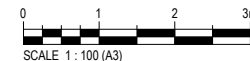
FLOOR COVERINGS

	CARPET	89.5 m ²
	TILES	79.7 m ²
	WET AREA TILES	18.9 m ²



10/01/2025 12:33:20 PM

DRAWING TITLE:
FLOOR COVERINGS



Do NOT scale this drawing.
All written dimensions take precedence
over scaled dimension. *If in doubt, ASK.*



FREEDOM

SPEC: BASE

DESIGN:
MAPLETON 30

FACADE:
ASPIRE

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
Tel: 1300 786 773
www.metricronhomes.com.au

PRODUCT CODE:
VF3MAP30APRSN

CEILING:
24G L

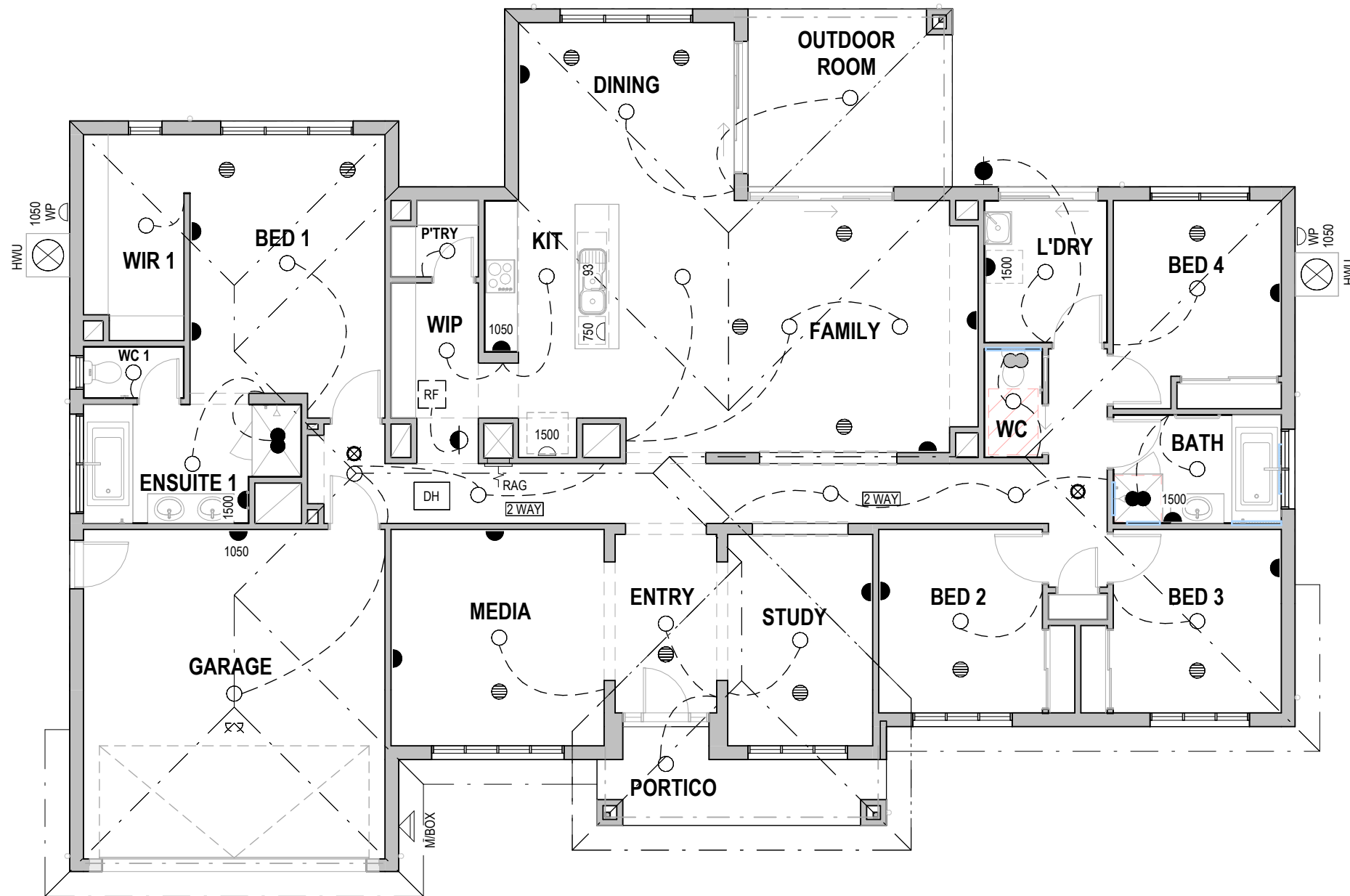
© COPYRIGHT
Metricron homes owns copyright
Unauthorised use, reproduction
or adaption is forbidden and will
be prosecuted.

OWNER:
METRICRON HOMES

VIC

JOB N°:	TBC	PERMIT N°:	TBC
WIND SPEED:	TBC	MASTER ISSUED:	01/04/2023
DRAWN:	NV, LN	CHECKED:	MW
MASTER PLAN			SHEET:
DATE: 09/02/2023			F01-08/14

LEGEND		
TYPE		COUNT
		2
2 WAY	2 WAY SWITCH	2
○	CEILING LIGHT OUTLET	27
◐	DOUBLE POWER POINT	16
⌋	DUCTED HEATING RETURN AIR WALL GRILLE	1
	DUCTED HEATING UNIT LOCATION	3
⊗	EXHAUST FAN WIRED TO LIGHT	1
⊗	EXHAUST FAN WITH DRAFT STOPPERS	2
●	EXTERNAL WALL LIGHT	1
◐	LIGHT OUTLET & S.P.POINT TO ROOF	1
⊙	OVERHEAD HEATING DUCTS	14
RF	ROOF ACCESS	1
◐	SINGLE POWER POINT	2
⊗	SINGLE POWER POINT CEILING	1
⌋	SINGLE POWER POINT ON SEPARATE CIRCUIT	1
WP	SINGLE WEATHERPROOF POWER POINT	2
⊗	SMOKE ALARM	2



NOTES:

- THE LOCATIONS OF ALL ELECTRICAL, HEATING & COOLING ITEMS SHOWN ON THIS PLAN ARE INDICATIVE ONLY. FINAL PLACEMENT ON SITE MAY VARY SUBJECT TO BUILDING TOLERANCES & SITE CONDITIONS AS APPLICABLE.
- HEATING & COOLING OUTLET LOCATIONS ARE IN APPROXIMATE POSITIONS ONLY & ARE SUBJECT TO VERIFICATION BY HEATING CONTRACTOR.
- SMOKE DETECTOR HARDWIRED TO CONSUMER MAINS WITH 9V BATTERY BACKUP. INSTALLED IN ACCORDANCE WITH AS 3786
- POWER POINTS TO BE AT 300MM AFL (UNLESS NOTED OTHERWISE)
- LIGHT SWITCHES TO BE INSTALLED AT 1050MM AFL

DRAWING TITLE:
ELECTRICAL PLAN



Do NOT scale this drawing.
All written dimensions take precedence over scaled dimension. *If in doubt, ASK.*



FREEDOM

SPEC: BASE

DESIGN:
MAPLETON 30

FACADE:
ASPIRE

501 Blackburn Road, Mount Waverley, VIC, 3149
P.O. Box 857, Mount Waverley, VIC, 3149
Builders Licence N°: CDB-U 52967 ACN: 005 108 752 in this drawing.
Tel: 1300 786 773
www.metricronhomes.com.au

PRODUCT CODE:
VF3MAP30APRSN

CEILING:
24G L

© COPYRIGHT
Metricron homes owns copyright
Unauthorised use, reproduction or adaption is forbidden and will be prosecuted.

OWNER:
METRICRON HOMES

VIC

JOB N°:	TBC	PERMIT N°:	TBC
WIND SPEED:	TBC	MASTER ISSUED:	01/04/2023
DRAWN:	NV, LN	CHECKED:	MW
MASTER PLAN			SHEET:
DATE: 09/02/2023			F01-09/14