

NOTE: REFER TO SHEET FOR 2B REDUCED SURVEY AREA INCLUDING SITE FEATURES, SETBACK/SETOUT DIMENSIONS, EXCAVATIONS, DRIVEWAY ACCESS ETC.

CUT/FILL AREAS
NOTE: AREAS ARE TAKEN FROM 1/2 WAY INTO THE CUT BATTER AND 1/2 INTO THE FILL APRON
CUT: 224 SQM
FILL: 139 SQM

TEMPORARY FENCING:
 BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH BYLAW)

SEPTIC
 SEPTIC TANK SYSTEM TO BE PROVIDED & INSTALLED BY OWNER IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

NOTE:
 PLANNING PERMIT REQUIRED DUE TO FARMING ZONE (FZ), BUSHFIRE MANAGEMENT OVERLAY (BMO) AND POSSIBLY SIGNIFICANT LANDSCAPE OVERLAY (SLO), TO BE OBTAINED BY OWNER

DEVELOPER APPROVAL
 DEVELOPER APPROVAL REQUIRED

DRAINAGE NOTES:
 ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEER'S DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 3.6.5 DRAINAGE REQUIREMENTS OF AS2870-2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES

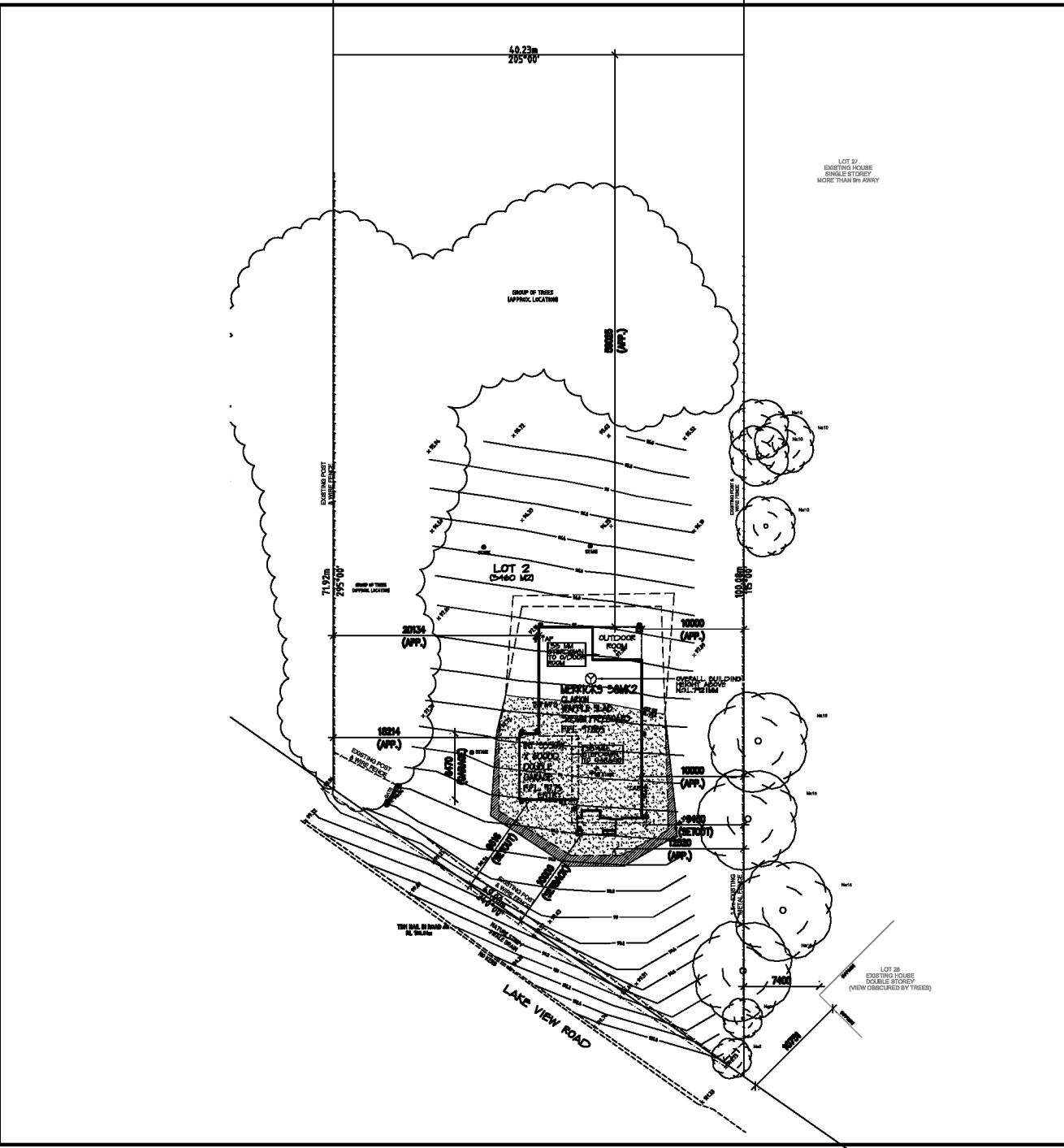
SOLAR HOT WATER SERVICE
 SOLAR HOT WATER SERVICE TO BE ELECTRIC BOOSTED

6 STAR ENERGY RATING
 DWELLING TO COMPLY W/- THE REQUIREMENTS OF 6 STAR ENERGY RATING.

BUSHFIRE ATTACK ASSESSMENT: BAL-19
NOTE: THIS PROPERTY IS IN A BUSHFIRE PRONE AREA. THE PROPOSED DWELLING IS TO BE CONSTRUCTED TO COMPLY WITH BAL 19 REQUIREMENTS OF AS 3959.

RESCODE NOTES:
 SITING WILL BE SUBJECT TO FULL RESCODE GUIDELINES FOR BUILDING APPROVAL AND CONSEQUENTLY, SITINGS MAY DIFFER FROM OWNERS ORIGINAL REQUEST TO ACCOMMODATE RESCODE REQUIREMENTS.

CROSSOVER:
 CROSSOVER PERMIT, SUPPLY AND INSTALLATION BY OWNER TO COMPLY WITH LOCAL COUNCIL AND DEVELOPER GUIDELINES.



	SITE AREA 3460 SQM
	BUILDING 201 SQM
	SITE COVER 5 %
	PERMEABLE 15 %
GARDEN AREA 15 %	WIND SPEED 40 M/S
EXCAVATION NOTES	
EXCAVATE APPROX. 1050MM ON SPREAD FILL OVER REMAINING AREA TO LEVEL.	
EXCAVATIONS TO START AS FOLLOWS: - SINGLE STOREY: 1500MM OF - DOUBLE STOREY: 2000MM OF FROM EDGE OF BUILDING AND BATTERED BACK AT 45 DEG.	
PROVIDE DRAINAGE AS PER ENGINEER'S DESIGN.	
IF A CONCRETE DRIVEWAY IS PROVIDED IT IS THE OWNERS RESPONSIBILITY TO PROVIDE A DRAIN ACROSS GARAGE OPENING.	
IMPORTANT NOTE:	
SITE CUTS ARE SUBJECT TO PERMITS APPROVAL & NOT TO BE USED BY OTHER CONTRACTORS OTHER THAN METRICON HOMES P/L	
DRAINAGE NOTES:	
PROVIDE MIN. 100MM DIA. UPV. SEALED STORMWATER SYSTEM DISCHARGE INTO THE TANK(S) AND SURFACE STORMWATER TO 1:100 TO THE L.P.O.D.	
REFER ENGINEERING PLAN FOR DETAILS	
LEGEND	
PERMANENT SURVEY MARK	DOWN
TITLE PEG	SEALED
SURVEY MARK	METE
TOP/EDGE OF BATTER	STOR
GWIT GAS WATER TELECOM CONDUITS	SEWE
TREE	TREES
SEC SEC PIT	
HW HOUSE CONNECTION POINT	
INTRAX SURVEY DATE: TBC	
CONTOUR INTERVALS: 200 MM	
LEVELS TO: ARD DATUM	
SITE PLAN	
metric	
501 Blackburn Road, Mount Waverley P.O. Box 857, Mount Waverley Telephone 03 9915 5555 Fax 03 9915 5555	
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OWNER:	
[Redacted Owner Name]	
P.C. DATE:	PERMIT NO.:
JOB: 750012	DRAWN:
DATE: 05/07/24	CHECKED:
SCALE: 1:400	SHEET: 2
MELWAY REF:	P.C. NO.:

NOTE: REFER TO SHEET FOR 2A REDUCED SURVEY AREA INCLUDING SITE FEATURES, SETBACK/SETOUT DIMENSIONS, EXCAVATIONS, DRIVEWAY ACCESS ETC.

CUT/FILL AREAS:

NOTE: AREAS ARE TAKEN FROM 1/2 WAY INTO THE CUT BATTER AND 1/2 INTO THE FILL APRON

CUT: 224 SQM

FILL: 139 SQM

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BUILDER TO PROVIDE FENCING TO ANY UNFENCED BOUNDARIES (LOCAL AUTH BYLAW)

SEPTIC

SEPTIC TANK SYSTEM TO BE PROVIDED & INSTALLED BY OWNER IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

NOTE:

PLANNING PERMIT REQUIRED DUE TO FARMING ZONE (FZ), DUSHFIRE MANAGEMENT OVERLAY (DMO) AND POSSIBLY SIGNIFICANT LANDSCAPE OVERLAY (SLO). TO BE OBTAINED BY OWNER.

DEVELOPER APPROVAL

DEVELOPER APPROVAL REQUIRED

DRAINAGE NOTES:

ALL SURFACE DRAINAGE WORKS SHALL BE INSTALLED IN ACCORDANCE WITH THE ENGINEERS DESIGN DETAIL FOR THE SELECTED FOOTING SYSTEM AND SOIL CLASSIFICATION AND IN ACCORDANCE WITH CLAUSE 5.6.3 DRAINAGE REQUIREMENTS OF AS2670-2011, WHEREIN FOR BUILDINGS ON MODERATELY, HIGHLY AND REACTIVE SITES

SOLAR HOT WATER SERVICE

SOLAR HOT WATER SERVICE TO BE ELECTRIC BOOSTED

6 STAR ENERGY RATING:

DWELLING TO COMPLY W/- THE REQUIREMENTS OF 6 STAR ENERGY RATING.

DUSHFIRE ATTACK ASSESSMENT:

BAL-19

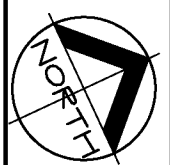
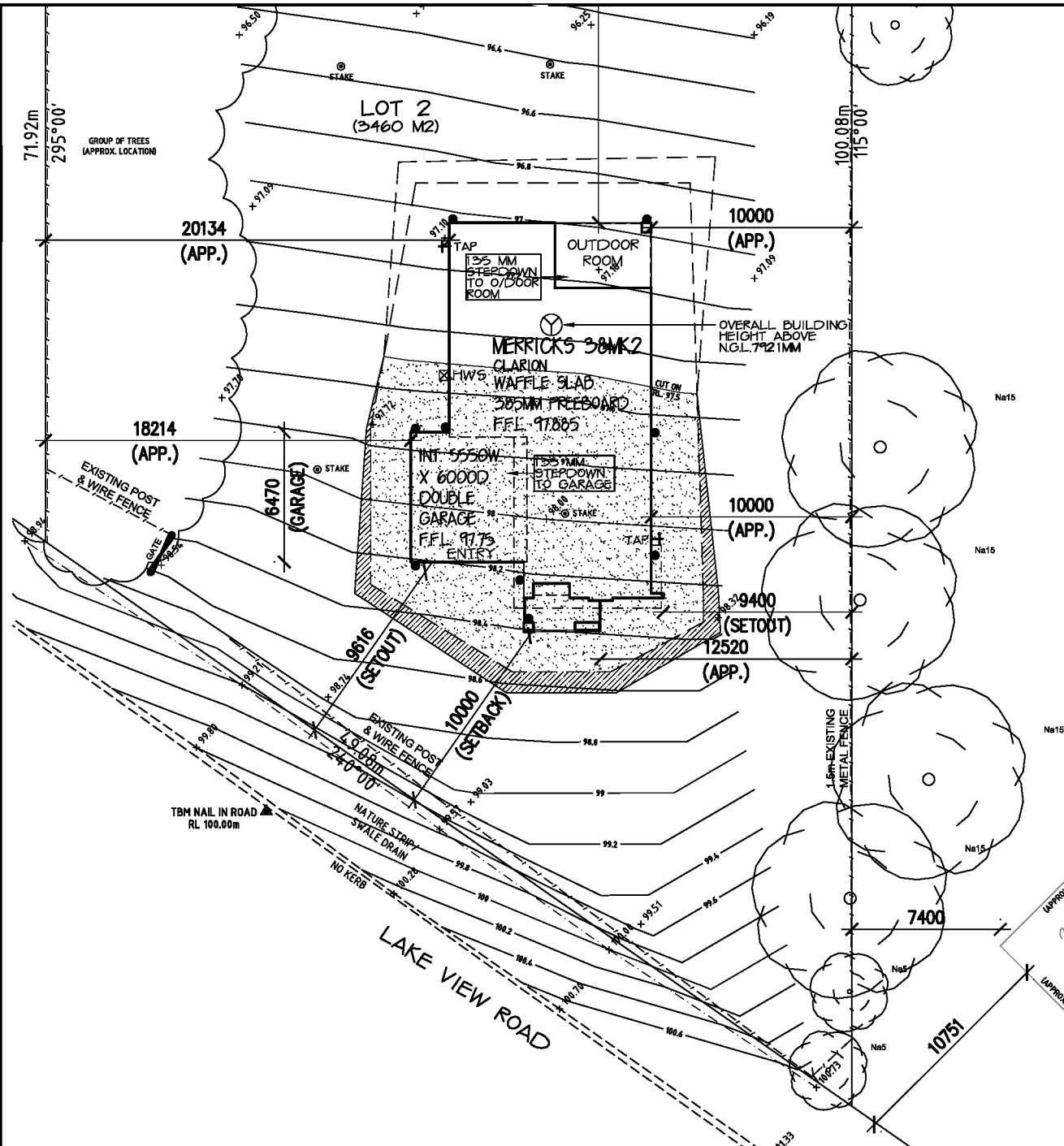
NOTE: THIS PROPERTY IS IN A DUSHFIRE PRONE AREA. THE PROPOSED DWELLING IS TO BE CONSTRUCTED TO COMPLY WITH DAL 19 REQUIREMENTS OF AS 3749.

RESCODE NOTES:

SITING WILL BE SUBJECT TO FULL RESCODE GUIDELINES FOR BUILDING APPROVAL AND CONSEQUENTLY, SITINGS MAY DIFFER FROM OWNERS ORIGINAL REQUEST TO ACCOMMODATE RESCODE REQUIREMENTS.

CROSSOVER:

CROSSOVER PERMIT, SUPPLY AND INSTALLATION BY OWNER TO COMPLY WITH LOCAL COUNCIL AND DEVELOPER GUIDELINES.



SITE AREA	3460 SQM
BUILDING	201 SQM
SITE COVER	5 %
PERMEABILITY	15 %
GARDEN AREA	15 %
WIND SPEED	40 M/S

EXCAVATION NOTES:

EXCAVATE APPROX 1050MM ON SPREAD FILL OVER REMAINING AREA TO LEVEL.
EXCAVATIONS TO START AS FOLLOWS:
- SINGLE STOREY: 1500MM OFF
- DOUBLE STOREY: 2000MM OFF FROM EDGE OF BUILDING AND BATTERED BACK AT 45 DEG. M

PROVIDE DRAINAGE AS PER ENGR DESIGN

IF A CONCRETE DRIVEWAY IS PROVIDED IT IS THE OWNERS RESPONSIBILITY TO PROVIDE A DRAIN ACROSS GARAGE OPENING

IMPORTANT NOTE:

SITE CUTS ARE SUBJECT TO P/L APPROVAL & NOT TO BE USED. OTHER CONTRACTORS OTHER THAN METRICON HOMES P/L

DRAINAGE NOTES:

PROVIDE MIN. 100MM DIA. UP.V. SEALED STORMWATER SYSTEM DISCHARGE INTO THE TANK(S) AND SURFACE STORMWATER TO 1:100 TO THE L.P.O.D.

REFER ENGINEERING PLAN FOR DRAINAGE

PERMANENT SURVEY MARK	DOWN
TITLE P.D.	SEALED
SURVEY MARK	METER
TYPED OF BATTER	STORY
GWT GAS WATER TELECOM CONDUITS	SEWER
TREE	TREES
SEC SEC PIT	
H/D HOUSE CONNECTION POINT	

INTRAX SURVEY DATE: TBC

CONTOUR INTERVALS: 200 MM

LEVELS TO: AFD DATUM

SITE PLAN

metric

501 Blackburn Road, Mount Waverley
P.O. Box 857, Mount Waverley
Telephone 03 9915 5555 Fax 03 9915 5555

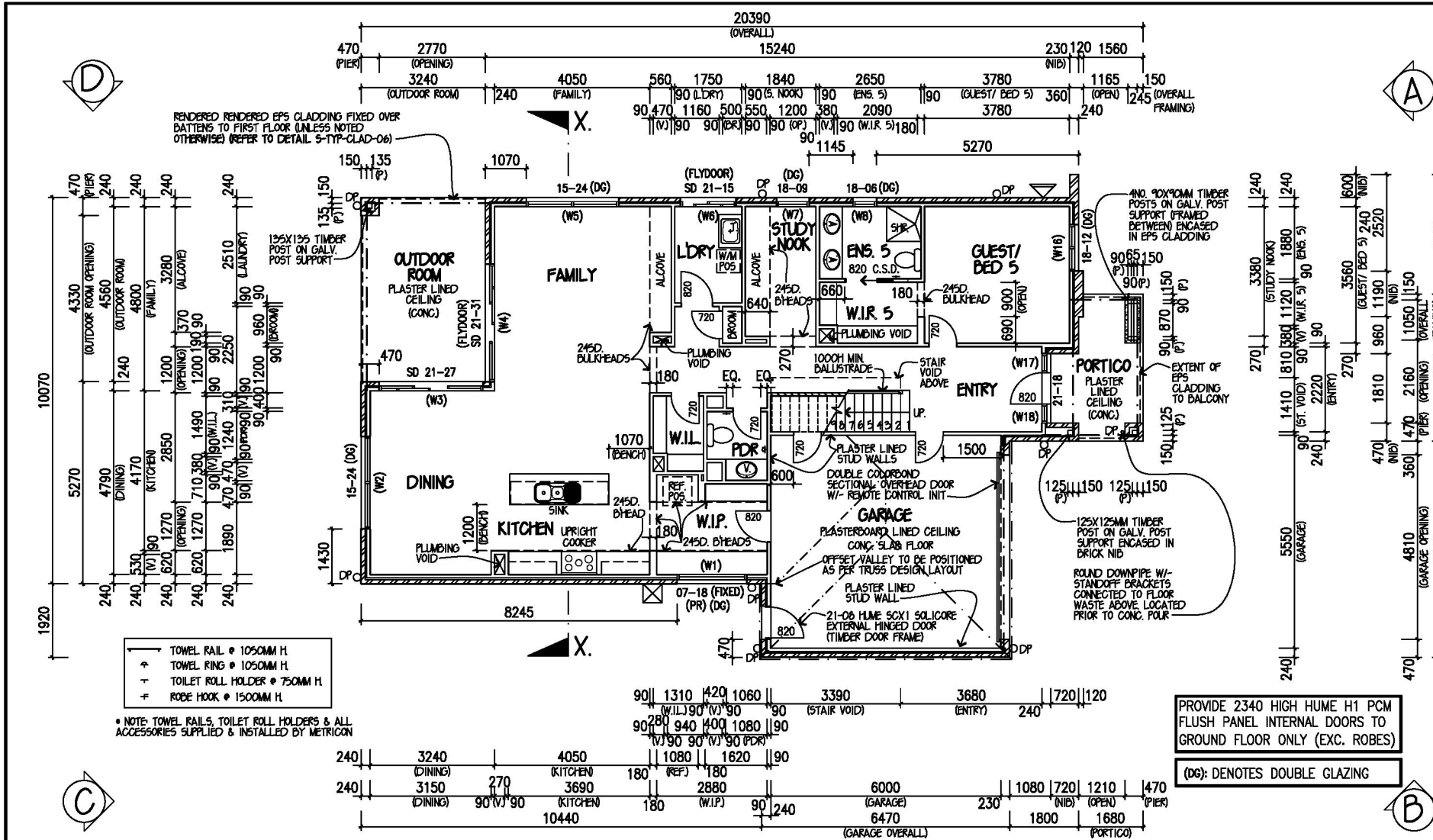
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P.L. DATE: PERMIT NO:

JOB:	750012	DRAWN:	
DATE:	05/01/24	CHECKED:	
SCALE:	1:200	SHEET:	2
MELWAY REF:		P.C. NO.:	



GROUND FLOOR PLAN 1:100

- TOWEL RAIL • 1050MM H
- TOWEL RING • 1050MM H
- TOILET ROLL HOLDER • 750MM H
- ROBE HOOK • 1500MM H

* NOTE: TOWEL RAILS, TOILET ROLL HOLDERS & ALL ACCESSORIES SUPPLIED & INSTALLED BY METRICON

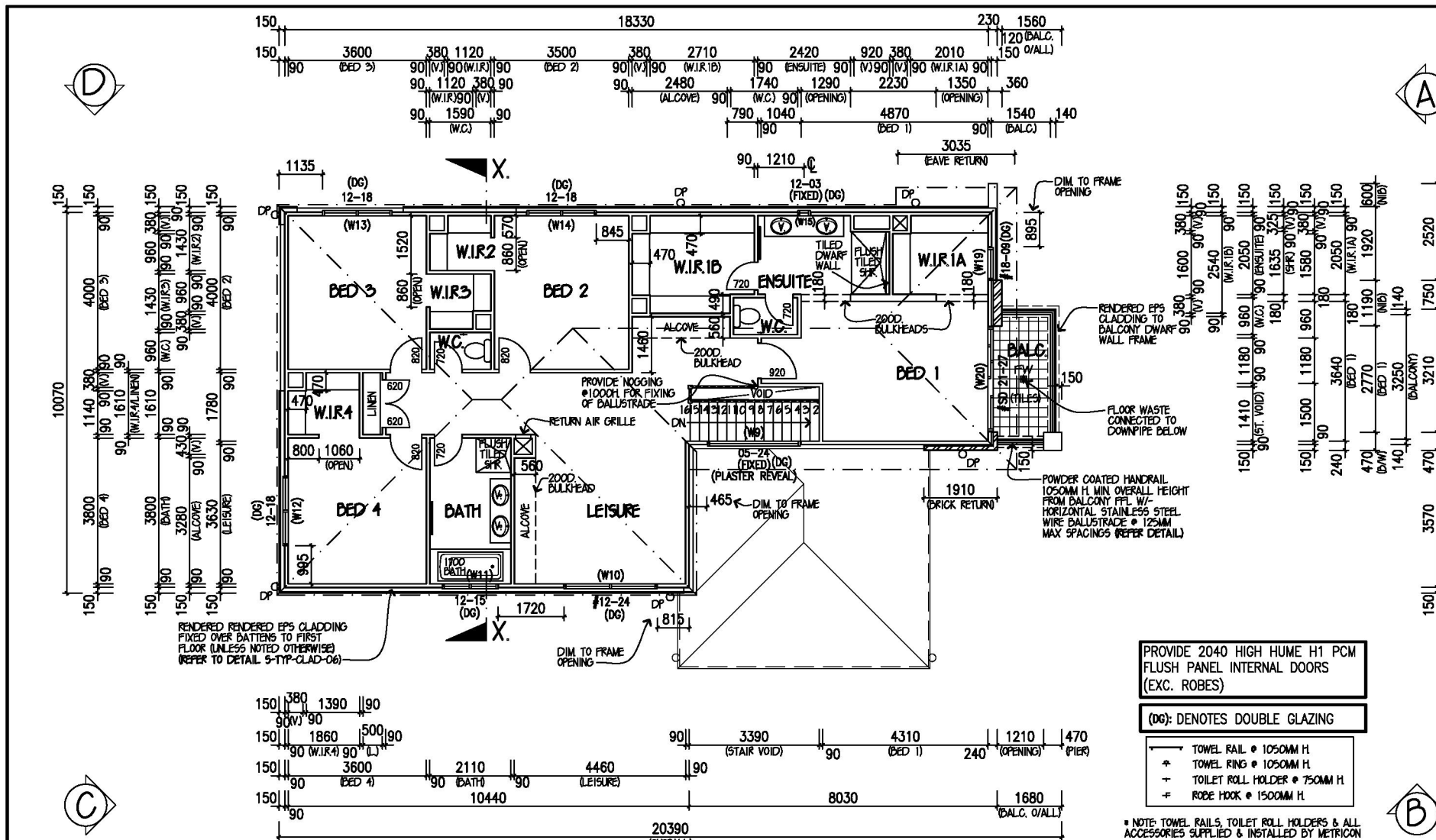
NOTES:
 * WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
 * WINDOW SIZES SHOWN ARE SUPPLIER'S FRAME SIZES.
 * ALL GLAZING TO COMPLY WITH A.S. 1288-2021 GLASS IN BUILDINGS AS 2017-2014 WINDOWS IN BUILDINGS & A.S. 4055-2021 FOR WINDLOADING.
 * ALL INWARD SWING HINGED WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 2022 H4D5 HOUSING PROVISIONS 10.4.2.
 * PROVIDE CHIMNEY FLASHINGS & NEEPHOLES AS PER NCC 2022 H1D5 HOUSING PROVISIONS 5.7.5.
 * PLIABLE BUILDING MEMBRANES TO COMPLY & BE INSTALLED IN ACCORDANCE TO NCC 2022 H4D9 HOUSING PROVISIONS 10.8.1 & AS 4200.1-2017 & 4200.2-2017
 * ALL EXHAUST FANS TO COMPLY WITH NCC 2022 H4D9 HOUSING PROVISIONS 10.8.2

FRAMING NOTES:
 * CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNLESS OTHERWISE NOTED)
 * PROVIDE 2ND. GOMAS JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL 5-TYP-DOOR-01
 * ENSURE RETURN AIR GRILLE & VOID IS CLEAR OF TRUSS &/OR FRAMING CONSTRUCTION.
LEGEND:
 [Symbol] LOAD BEARING WALL
 [Symbol] WALL UNDER STAIR TO BE BUILT AFTER STAIR
 [Symbol] 70MM STUD WALL
 [Symbol] 12MM PLY BOARD FIXED TO STUD W/PLASTER OVER INCREASE WIND RATING AS PER ASSD47 TO NOMINATED GLAZING PANELS
 * [Symbol]

AREAS:	GARAGE:	DESIGN:
GRD FLR: 140.61 SQM	365.53 SQM	MERRICKS 38 MK2
FIRST FLR: 156.51 SQM	O'DOOR RM: 15.55 SQM	FACADE: CLARION CEILING 25. L
	PORTICO: 8.01 SQM	GARAGE: DOUBLE LOCATION: H
	BALCONY: 5.77 SQM	
SUBTOTAL: 291.20 SQM	TOTAL: 365.06 SQM	FLOOR PLAN VPSMER36CLR2
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FIRST FLOOR PLAN 1:100

NOTES:
 * WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. FLOOR PLAN DIMENSIONS ARE TO FRAME SIZE ONLY.
 * WINDOW SIZES SHOWN ARE SUPPLIERS FRAME SIZES.
 * ALL GLAZING TO COMPLY WITH A.S. 1288-2021 GLASS IN BUILDINGS, A.S. 2047-2014 WINDOWS IN BUILDINGS & A.S. 4055-2021 FOR WINDOWLOADING.
 * ALL INWARD SWING HINGED WATER CLOSET DOORS TO BE REMOVABLE IN ACCORDANCE WITH NCC 2022 H405 HOUSING PROVISIONS 10.4.2.
 * PROVIDE CHIMNEY FLASHING & WEATHERHOLES AS PER NCC 2022 H105 HOUSING PROVISIONS 5.7.5.
 * PLIABLE BUILDING MEMBRANES TO COMPLY & BE INSTALLED IN ACCORDANCE TO NCC 2022 H409 HOUSING PROVISIONS 10.8.1 & AS 4200.1-2017 & 4200.2-2017
 * ALL EXHAUST FANS TO COMPLY WITH NCC 2022 H409 HOUSING PROVISIONS 10.8.2

FRAMING NOTES:
 * CENTRE ALL WINDOWS & DOORS INTERNALLY TO ROOM (UNLESS OTHERWISE NOTED)
 * PROVIDE 2ND. GOMAS JAMB STUDS TO ALL INTERNAL DOOR OPENINGS AND ALL SLIDING ROBE DOOR OPENINGS AS PER DETAIL 5-TYP-DOOR-01
 * ENSURE RETURN AIR GRILLE & VOID IS CLEAR OF TRUSS &/OR FRAMING CONSTRUCTION.

LEGEND:
 [Symbol] LOAD BEARING WALL
 [Symbol] WALL UNDER STAIR TO BE BUILT AFTER STAIR
 [Symbol] 70MM STUD WALL
 [Symbol] 120MM PLY BOARD FIXED TO STUD W/PLASTER OVER INCREASE WIND RATING AS PER AS2047 TO NOMINATED GLAZING PANELS
 * [Symbol]

DESIGN: **MERRICKS 38 MK2**
 FACADE: **CLARION** CEILING: **ZS, L**
 GARAGE: **DOUBLE** LOCATION: **H**

FLOOR PLAN
VPSMERS38CLR2

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 PERMIT No: [REDACTED]
 DRAWN: PGN CHKD: [REDACTED] SHEET: [REDACTED]

IMPORTANT NOTE:
REFER TO FACADE DETAIL
REF. NO. 5-TYP-CLAR-01

NOTE: ENSURE A MIN. BALUSTRADE
HEIGHT OF 1000MM ABOVE
FINISHED FLOOR LEVEL TO COMPLY
WITH BCA 3.9.2

FACADE MATERIAL %:
BRICK 60%
CLADDING 40%

IMPORTANT NOTE:
REFER TO SOIL ENGINEERS PLANS
FOR ARTICULATION JOINT LOCATIONS

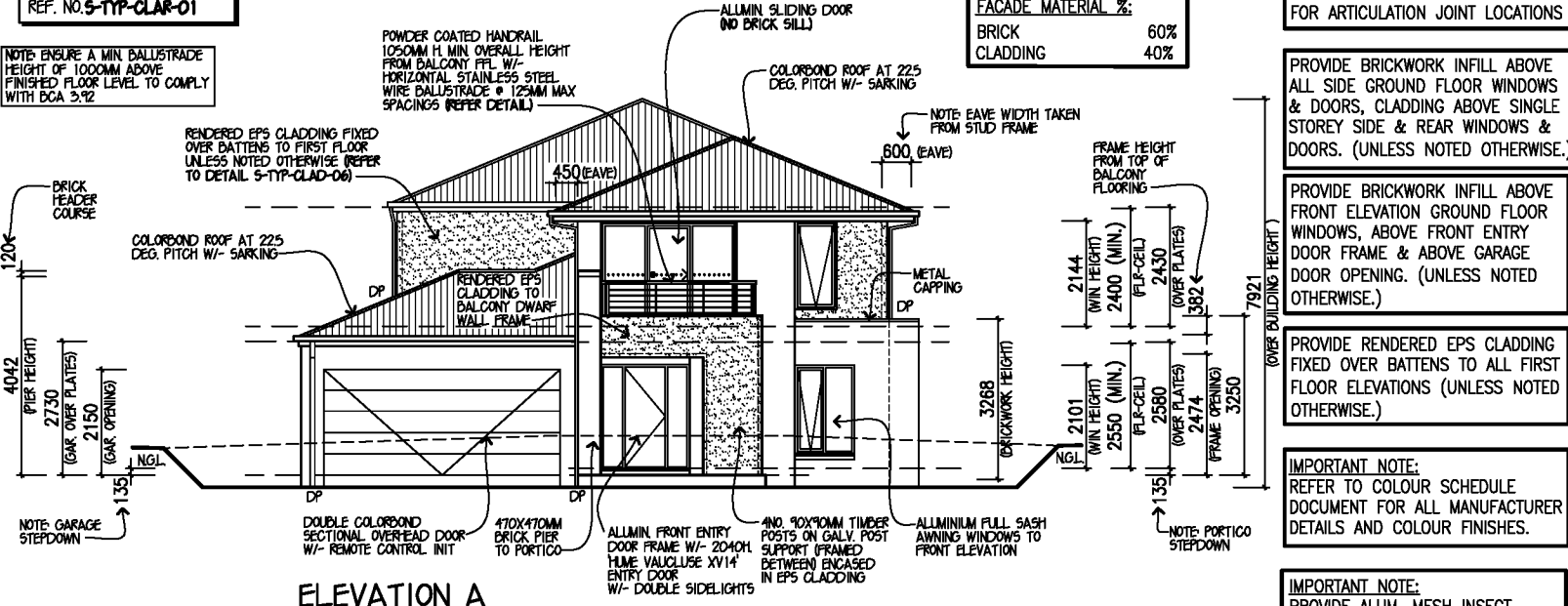
PROVIDE BRICKWORK INFILL ABOVE
ALL SIDE GROUND FLOOR WINDOWS
& DOORS, CLADDING ABOVE SINGLE
STOREY SIDE & REAR WINDOWS &
DOORS. (UNLESS NOTED OTHERWISE.)

PROVIDE BRICKWORK INFILL ABOVE
FRONT ELEVATION GROUND FLOOR
WINDOWS, ABOVE FRONT ENTRY
DOOR FRAME & ABOVE GARAGE
DOOR OPENING. (UNLESS NOTED
OTHERWISE.)

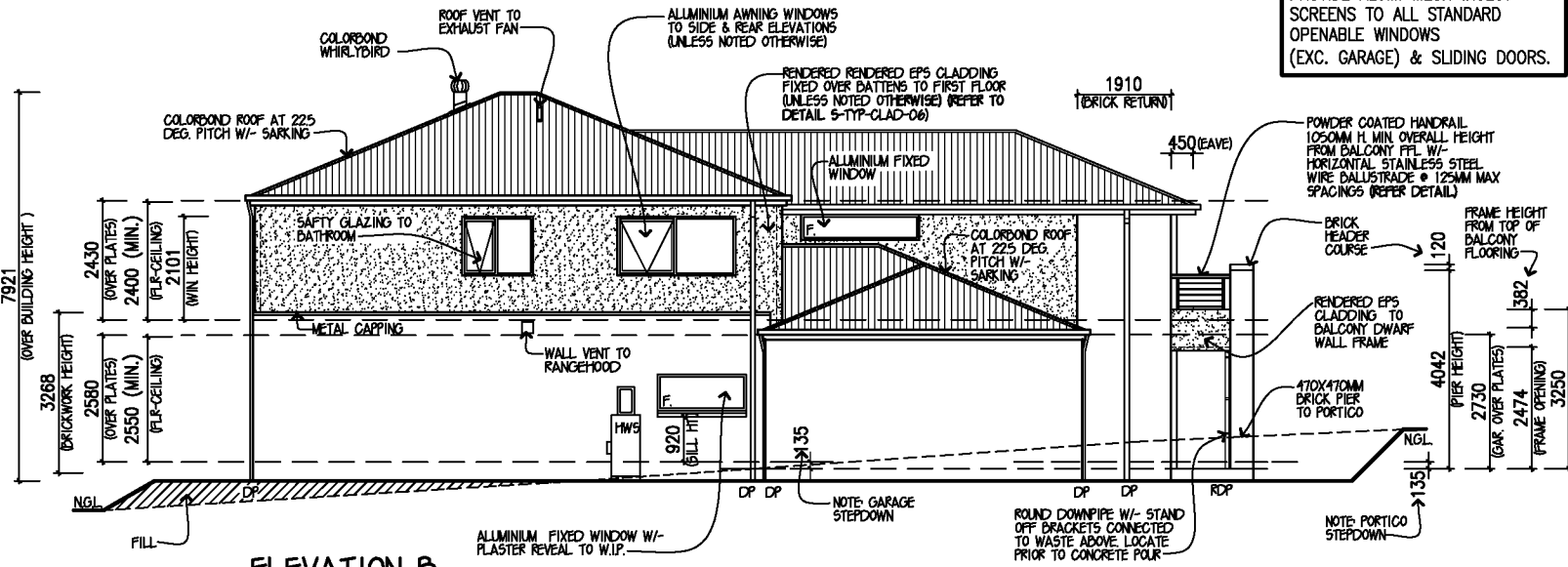
PROVIDE RENDERED EPS CLADDING
FIXED OVER BATTENS TO ALL FIRST
FLOOR ELEVATIONS (UNLESS NOTED
OTHERWISE.)

IMPORTANT NOTE:
REFER TO COLOUR SCHEDULE
DOCUMENT FOR ALL MANUFACTURER
DETAILS AND COLOUR FINISHES.

IMPORTANT NOTE:
PROVIDE ALUM. MESH INSECT
SCREENS TO ALL STANDARD
OPENABLE WINDOWS
(EXC. GARAGE) & SLIDING DOORS.



ELEVATION A



ELEVATION B

ELEVATIONS 1:100

NOTES:
* WINDOW SUPPLIER TO SUPPLY COVER BOARDS
CORNER WINDOWS UNLD.
* WINDOWS TO COMPLY WITH NCC 2022 1503
PROVISIONS 11.3.7 & NCC 2022 110B HOUSE
8.4.6.
* ALL GLAZING TO COMPLY WITH A.S. 1288-2022
2007-2014 & WITH A.S. 4055-2021 FOR W
UNLD.
* WINDOWS SHALL BE PROTECTED IN ACCORDANCE
2022 1503 HOUSING PROVISIONS 11.3.7 & 11.
* WINDOW HEAD HEIGHT DIMENSIONS TO BE TAK
NEAREST CORRESPONDING BRICK COURSE.
* GUTTER AND DRAINAGE SYSTEM TO COMPLY W
* IF EXTERNAL RENDER IS SUPPLIED BY METRICO
RENDER PROCESS IS TO BE APPLIED OVER TH
ARTICULATION JOINTS AS PER METRICON STAND

VARIATIONS(V), RE-PREPS(R), AMENDMENTS(A)

No:	Date:	Drawn/Checked:	No:	Date:
A01	05/07/24	PGN	-	-
-	-	-	-	-
-	-	-	-	-
-	-	-	-	-

DESIGN: **MERRICKS 38**
FACADE: **CLARION** CEILING: **2**
GARAGE: **DOUBLE** LOCATION: **M**

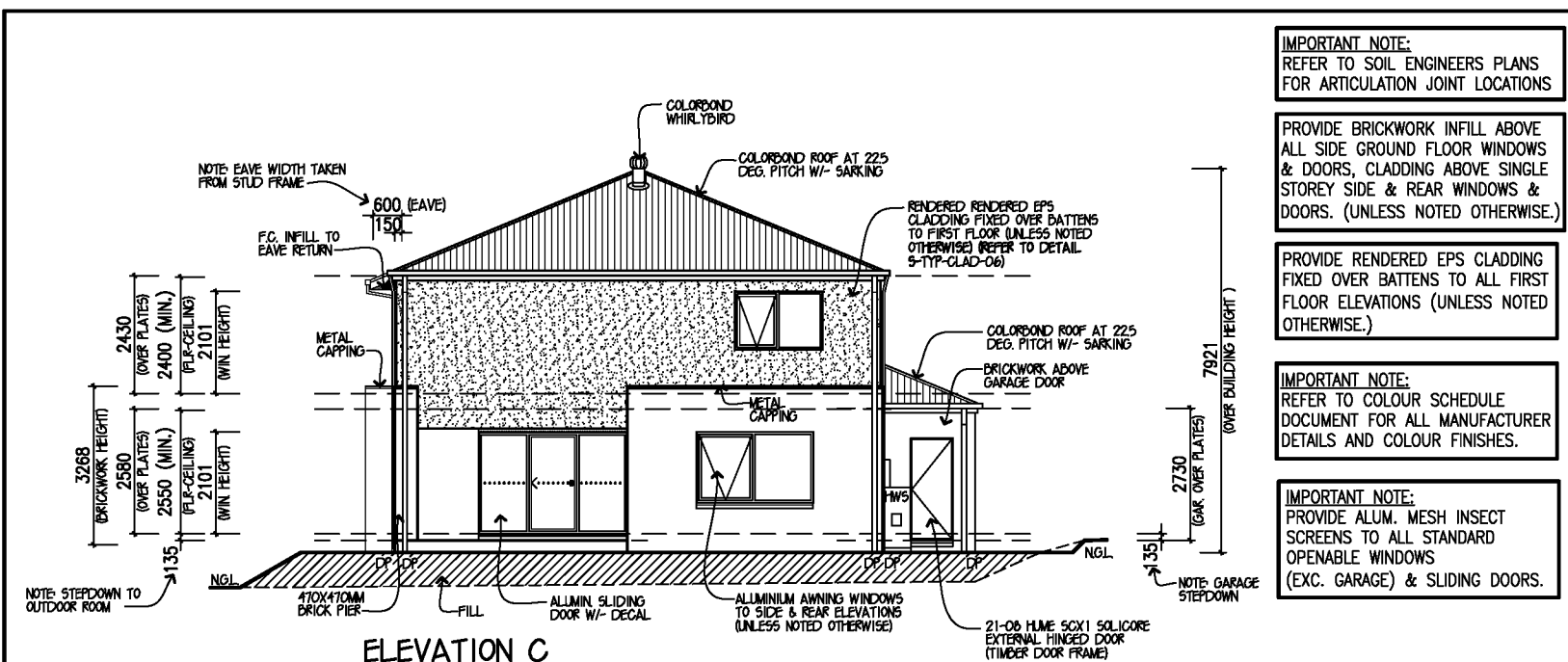
ELEVATIONS
VF5MERR38CLRD

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PERMIT No:			
DRAWN:	PGN	CHKD:	
SHEET:			



ELEVATION C

IMPORTANT NOTE:
REFER TO SOIL ENGINEERS PLANS FOR ARTICULATION JOINT LOCATIONS

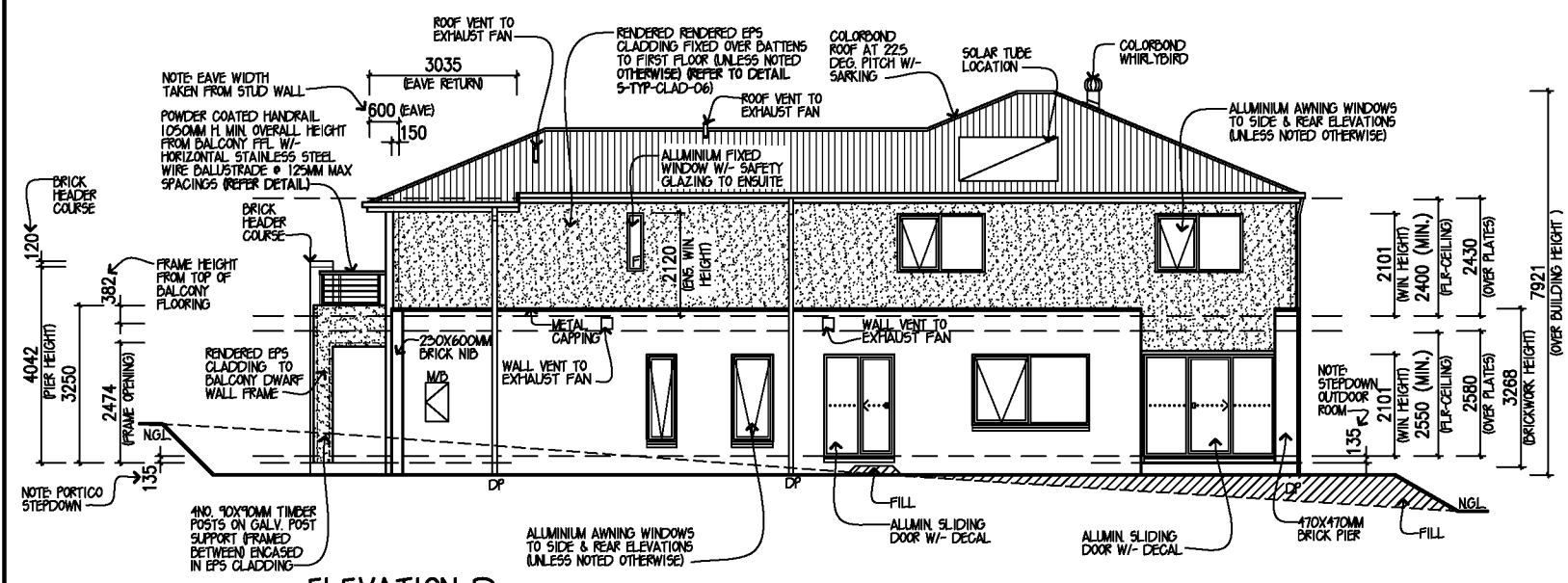
PROVIDE BRICKWORK INFILL ABOVE ALL SIDE GROUND FLOOR WINDOWS & DOORS, CLADDING ABOVE SINGLE STOREY SIDE & REAR WINDOWS & DOORS. (UNLESS NOTED OTHERWISE.)

PROVIDE RENDERED EPS CLADDING FIXED OVER BATTENS TO ALL FIRST FLOOR ELEVATIONS (UNLESS NOTED OTHERWISE.)

IMPORTANT NOTE:
REFER TO COLOUR SCHEDULE DOCUMENT FOR ALL MANUFACTURER DETAILS AND COLOUR FINISHES.

IMPORTANT NOTE:
PROVIDE ALUM. MESH INSECT SCREENS TO ALL STANDARD OPENABLE WINDOWS (EXC. GARAGE) & SLIDING DOORS.

NOTES:
* WINDOW SUPPLIER TO SUPPLY COVER BOARDS CORNER WINDOWS UNLD.
* WINDOWS TO COMPLY WITH NCC 2022 H503 PROVISIONS 11.3.7 & NCC 2022 H10B HOUSE 8.4.6.
* ALL GLAZING TO COMPLY WITH A.S. 1288-2022 2017-2014 & WITH A.S. 4055-2021 FOR WH UNLD.
* WINDOWS SHALL BE PROTECTED IN ACCORDANCE WITH 2022 H503 HOUSING PROVISIONS 11.3.7 & 11.1.
* WINDOW HEAD HEIGHT DIMENSIONS TO BE TAKEN TO NEAREST CORRESPONDING BRICK COURSE.
* GUTTER AND DRAINAGE SYSTEM TO COMPLY WITH NCC 2022 H503 HOUSING PROVISIONS 11.3.7 & 11.1.
* IF EXTERNAL RENDER IS SUPPLIED BY METRICON RENDER PROCESS IS TO BE APPLIED OVER THE ARTICULATION JOINTS AS PER METRICON STANDARDS.



ELEVATION D

ELEVATIONS 1:100

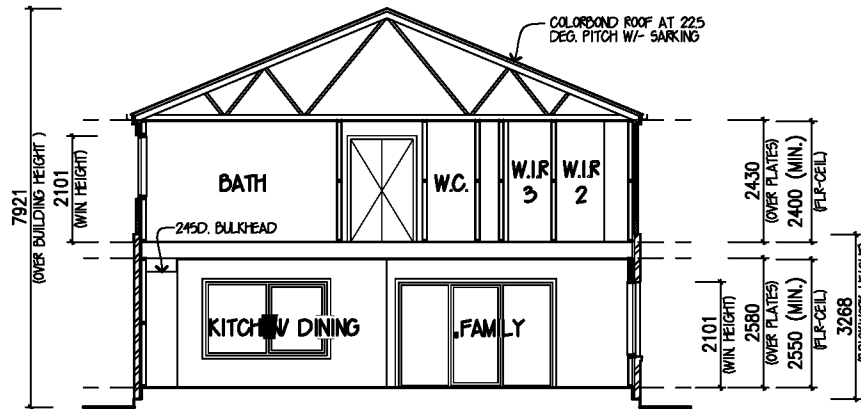
DESIGN: MERRICKS 38
 FACADE: CLARION CEILING: 2
 GARAGE: DOUBLE LOCATION: F
ELEVATIONS
 VFSMERS38CLRD

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JOB NO: 750012 DATE:
 F.C. DATE: MST VER: O
 PERMIT No:
 DRAWN: PGN CHKD: SHEET:



NOTE: REFER ENGINEER'S FOOTING DESIGN.

SECTION X-X

SITE CLASSIFICATION 'TBA'
(REFER SOIL REPORT NO. TBA)

SECTION 1:100

ENERGY EFFICIENCY
NOTE: DESIGN MODIFICATIONS MAY BE NECESSARY TO ACHIEVE REQUIRED ENERGY RATING, DEPENDING ON SITING.
PROVIDED IN THE PLANS:
DOOR SEALS - Sill seals to external hinged doors (incl. garage internal access door)
WINDOWS - Shall be weather stripped
DRAFT EXCLUSION - Reflective sisalation weather wrap with taped horizontal and vertical joints. Sealed gaps around windows & external doors to be installed in accordance with NCC 2022 H1D7 housing provisions 7.5.6 & AS/NZS 2904-1995
EXHAUST FANS - Draft prevention to exhaust fans, to relevant building codes.
CEILING INSULATION - R4.1 w/- R2.5 Batts to external perimeter excludes, Outdoor Room, Verandah, Portico and Garage.
WALL INSULATION - R2.0 Batts to all external walls incl. house/garage walls and house/roof space walls, No insulation to Garage walls.
FIRST FLOOR INSULATION - R4.1 Batts to floor area above Garage, Portico, Verandah and Outdoor room.
DOWNLIGHTS - All downlights to be sealed.

GENERAL NOTES:
* ALL STAIRS & STAIRS MUST COMPLY WITH NCC 2 HOUSING PROVISIONS 11.2.2
* BARRIERS & HANDRAILS MUST COMPLY WITH NCC HOUSING PROVISIONS 11.3
* BALUSTRADE IN ACCORDANCE WITH NCC 2022 HOUSING PROVISIONS 11.3.5 TO BE INSTALLED WHERE VOID & EXTERNAL LANDINGS EXCEED 1000mm ABOVE GROUND/FLOOR LEVEL.
* PROVIDE SLIP RESISTANCE IN ACCORDANCE WITH HOUSING PROVISIONS 11.2.4 & A.S. 4986-2013
* PROVIDE CAVITY FLASHINGS & WEEP HOLES ABOVE OPENINGS AS PER NCC 2022 H1D7 HOUSING PROVISIONS 10.2.
* ALL INTERNAL WATERPROOFING MEMBRANES TO COMPLY WITH A.S. 4858-2004
* WATERPROOFING FOR EXTERNAL ABOVE GROUND WITH A.S. 4854.1-2012 & A.S. 4854.2-2012
* SUB-FLOOR VENTILATION IN ACCORDANCE WITH NCC HOUSING PROVISIONS 6.2.1 TO BE PROVIDED TO TIMBER FLOOR.
* ALL GLAZING TO COMPLY WITH A.S. 1288-2021 2047-2014 & WITH A.S. 4055-2021 FOR WIND SAFETY CLASSIC IN HUMAN IMPACT AREAS INCL. TO BATHS OR SHOWERS TO BE IN ACCORDANCE WITH HOUSING PROVISIONS 8.4.6
FRAMING NOTES:
TIMBER ROOF TRUSSES TO MANUFACTURERS COMPLY WITH A.S. 1720-2010
STAIRS ARE INDICATIVE ONLY. REFER TO DETAILS, LAYOUTS & SELECTION DOCUMENTS
* ALL STRUCTURAL TIMBER FRAMING SIZES TO BE IN ACCORDANCE WITH A.S. 1884-2021.2 NATIONAL FRAMING CODE & OR ENGINEERS STRUCTURAL DESIGN
* ALL PLUMBING, DRAINAGE & ASSOCIATED WORK TO BE IN ACCORDANCE WITH THE PLUMBING CODE OF AUSTRALIA, NCC 3 AS/NZS 3500.3-2021
ALUMINUM WINDOW & DOOR FRAMES BY "ALUMINUM WINDOWS & DOORS". TIMBER WINDOW & DOOR FRAMES BY "CANTERBURY TIMBER WINDOWS & DOORS"

DESIGN: MERRICKS 38
 FACADE: CLARION CEILING: 2
 GARAGE: DOUBLE LOCATION: F

SECTION
 VF3MER38CLRD














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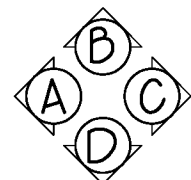
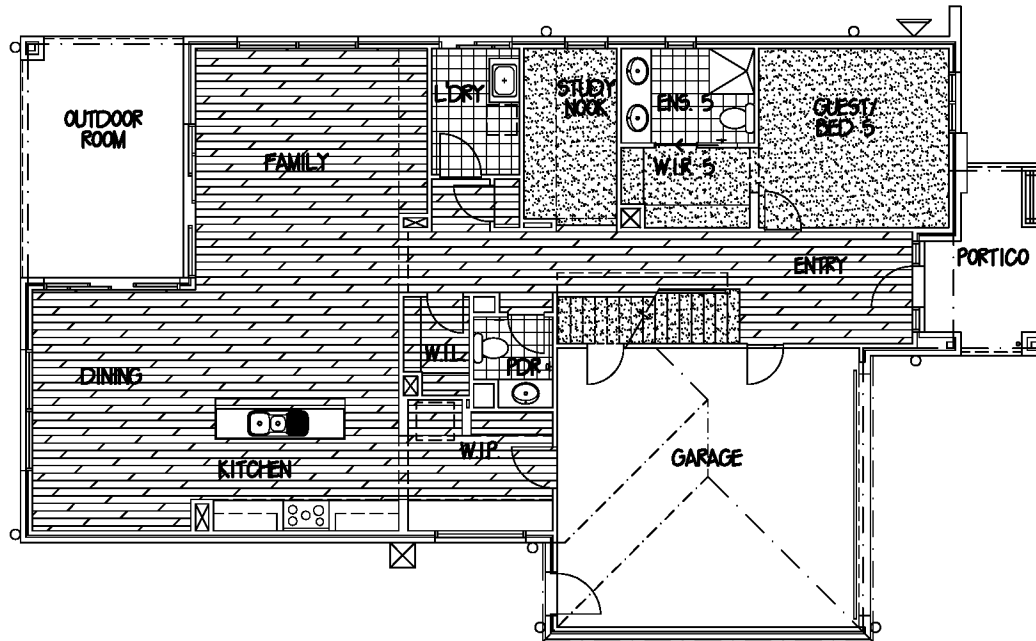


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 P.O. Box 857, Mount Waverley
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LEGEND

- | | | | |
|---|---------------------------------------|---|--|
|  | H.W.U. POSITION |  | DUCTED HEATING RETURN AIR (CEILING LOCATION) |
|  | EVAPORATIVE COOLING UNIT LOCATION |  | HOT WATER CONTROL POINT |
|  | METER BOX |  | TILES (FLOOR) |
|  | DUCTED HEATING UNIT LOCATION |  | CARPET |
|  | DUCTED HEATING RETURN AIR WALL GRILLE |  | TIMBER FLOORING |
|  | ROOF ACCESS |  | TIMBER DECKING |
| | |  | GAS METER |



GROUND FLOOR COVERINGS PLAN 1:100

DESIGN: **MERRICKS 38**
 FACADE: **CLARION** CEILING: **2**
 GARAGE: **DOUBLE** LOCATION: **M**

COVERING PLAN
VF5MER38CLR2














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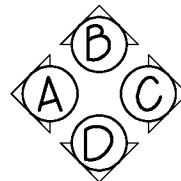
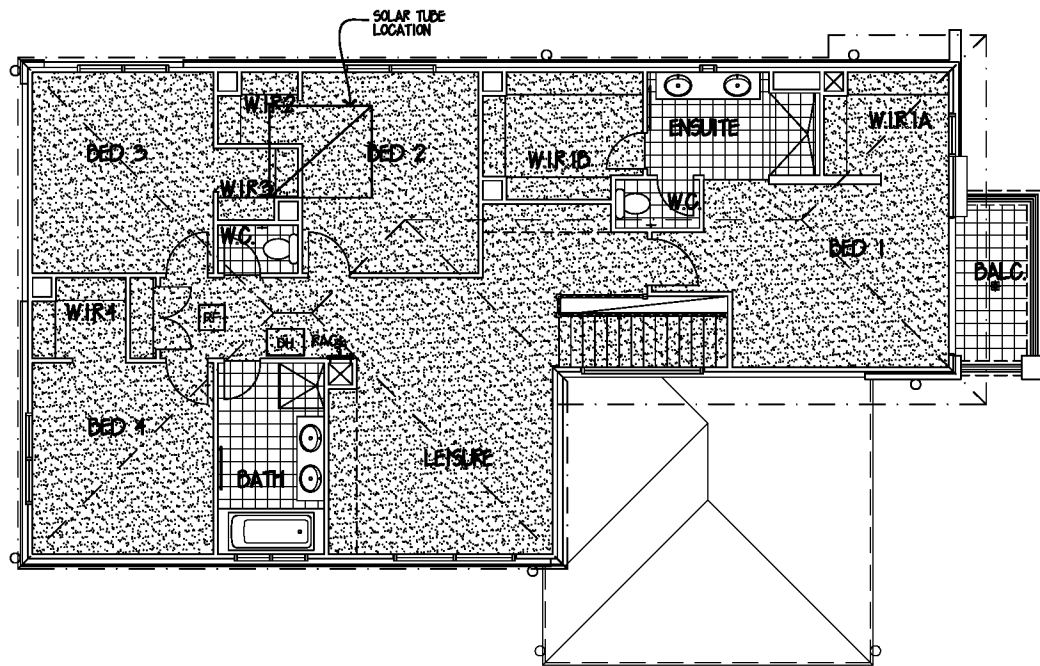
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LEGEND

- | | | | |
|---|---------------------------------------|---|--|
|  | HWU POSITION |  | DUCTED HEATING RETURN AIR (CEILING LOCATION) |
|  | EVAPORATIVE COOLING UNIT LOCATION |  | HOT WATER CONTROL POINT |
|  | METER BOX |  | TILES (FLOOR) |
|  | DUCTED HEATING UNIT LOCATION |  | CARPET |
|  | DUCTED HEATING RETURN AIR WALL GRILLE |  | TIMBER FLOORING |
|  | ROOF ACCESS |  | TIMBER DECKING |
| | |  | GAS METER |



FIRST FLOOR COVERINGS PLAN 1:100

DESIGN: MERRICKS 38
 FACADE: CLARION CEILING: 2
 GARAGE: DOUBLE LOCATION: M
COVERING PLAN
 VFSMERS38CLR02

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